



# Planning Permit Application

CITY OF BANDON PLANNING  
 P.O. BOX 67  
 555 HWY 101  
 BANDON, OR 97411  
 P:(541) 347-7922  
 F:(541)347-1415

Permit Number:

<b>APPLICATION TYPE (select all that apply)</b>		
<input type="checkbox"/> Annexation*	<input type="checkbox"/> Land Use Review*	<input type="checkbox"/> Subdivision*
<input type="checkbox"/> Certificate of Appropriateness (CoA)*	<input type="checkbox"/> Partition*	<input type="checkbox"/> Vacation*
<input type="checkbox"/> Comprehensive Plan or Zone Amendment*	<input checked="" type="checkbox"/> Plan Review (PR)	<input type="checkbox"/> Variance*
<input type="checkbox"/> Conditional Use Permit (CUP)*	<input type="checkbox"/> Planned Unit Development (PUD)*	<input type="checkbox"/> Zoning Compliance (ZC)
<input checked="" type="checkbox"/> Floodplain Development*	<input type="checkbox"/> Property Line Adjustment (PLA)*	<input checked="" type="checkbox"/> Other <u>4</u> *
* Pre-application required		Total Fees: \$ <u>                    </u>

**I. PROJECT LOCATION**

Street Address:

Map Number / Tax Lot(s): 29515W01B0 / 2000 Zone: CD-1 Floodplain:  Yes  No

**II. APPLICANT'S INFORMATION** (applicant is the primary party responsible for development)

Applicant's Name: DAVID REED Phone: 541 557 0057  
 Applicant's Mailing Address: P.O. Box 12008 Bandon OR 97411 E-Mail: INFO@WAFWONDERSUDIO.COM

**III. PROPERTY OWNER'S INFORMATION**

Property Owner's Name: TIM COAN Phone: \_\_\_\_\_  
 Mailing Address: 580 SPIKE ISLANDS CT SPARKS NV. 89431 E-mail: \_\_\_\_\_

**IV. OTHER INFORMATION (APPLICANT'S REP, SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, ETC)**

Title:	Name:
Email:	Phone:
Title:	Name:
Email:	Phone:
Title:	Name:
Email:	Phone:

**V. PROJECT DESCRIPTION**

Use:  Residential  Commercial  Other \_\_\_\_\_

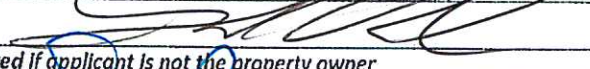
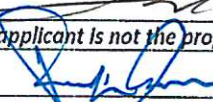
\*Please attach a short narrative that describes your proposed project and indicates the proposed use.

NEW TWO STORY RESIDENTIAL SINGLE FAMILY STRUCTURE  
 W/ ATTACHED 3 CAR GARAGE

**VI. SITE PLAN:** Please see our "How to Create a Site Plan" and sample site plan document for requirements and tips on how to create your site plan. Plans must be drawn to scale and may be submitted electronically; printed copies must be submitted on 11x17, ledger size paper (larger or smaller paper sizes will not be accepted).

**VII. PROPERTY OWNER SIGNATURE/AUTHORIZATION**

- I have read the application and the attached documentation and I understand that my application may be delayed or deemed incomplete if I have provided insufficient information and documentation to allow for approval.
- I certify that the information provided in this application, including all submittals and attachments, is true and correct to the best of my knowledge.
- I understand and agree that all required inspections will be requested 2 business days in advance, and it is the applicant's responsibility to ensure required inspections have been requested, completed, and approved.
- I authorize the City of Bandon or its acting agent, to enter onto the subject property, as described in section "I. Project location".
- I authorize the following party(s) to act as applicant in regard to the attached application for the subject property described above.

<input checked="" type="checkbox"/> Applicant's Signature: 	Date: 3/2/22
<i>Property owner's signature required if applicant is not the property owner</i>	
<input checked="" type="checkbox"/> Property Owner's Signature: 	Date: 2-24-2022

**Development Disclosure**

The City of Bandon is obligated to report all ground disturbances within the City of Bandon to the Coquille Indian Tribe. Property owners and applicants must adhere to all conditions and requirements set out by the Coquille Indian Tribe, State Historic Preservation Office (SHPO) or both if required. Please be aware that state statutes and federal law govern how archaeological sites are to be managed. ORS 97.745 prohibits the willful removal, mutilation, defacing, injury, or destruction of any cairn, burial, human remains, funerary objects, or objects of cultural patrimony of a Native Indian. ORS 358.920 prohibits excavation, injury, destruction, or alteration of an archaeological site or object, or removal of an archaeological object from public or private lands.

It is the property owner and applicant's responsibility to determine if additional permits from other agencies will be required, including but not limited to: Oregon State Building Codes, Oregon State Department of Environmental Quality, FEMA, Oregon State Fish and Wildlife and U.S. Fish and Wildlife. If additional permits are required, it is the responsibility of the property owner/applicant to obtain such permits and comply with their conditions of approval.

It is the property owner/applicant's responsibility to provide the City of Bandon all necessary legal documentation related to the property, including but not limited to: proof of ownership, receipts, deed restrictions, vacation records, easement records, etc.

I acknowledge, understand, and agree, that all relevant documentation will be provided to the City of Bandon, and that all required permits and consent will be obtained prior to the start of construction, with all conditions of approval adhered to.

<input checked="" type="checkbox"/> 	Date: 2-24-2022
<i>Property Owner's Signature (Property owner's signature required if applicant is not the property owner)</i>	
<input checked="" type="checkbox"/> 	Date: 3/2/22
<i>Applicant's Signature</i>	

Staff's Signature of Intake:  Date: 3/2/22

Staff's Signature of Completeness: \_\_\_\_\_ Date: \_\_\_\_\_

Staff's Signature of Approval: \_\_\_\_\_ Date: \_\_\_\_\_



### Submittal Requirements:

1. Completed Pre-Application with summary notes from the Planning Department (if applicable)
2. Complete Planning Permit application (including fees and applicable property records)
3. Signed Development Disclosure
4. Completed Submittal Requirement sheet

#### Site Plan Requirements (please check that you have completed each of the following)

- Setbacks on all sides of the property (must be marked from the closest structure to the property line)
- Property line must be clearly marked on all sides - if property corners cannot be determined a survey will be required.
- Location of all buildings and proposed building or addition
- Location of all mechanical equipment and proposed equipment (HVAC, propane tanks and enclosures - these cannot be located in the setback area)
- Fences, patios, sidewalks, (if being built along with the construction of a building)
- Decks, steps, porches (these cannot be located in the setback)
- All off-street parking
- Location of the front entrance and all exterior doorways
- Location & material of the driveway
- Direction of roof drainage
- Drywell, if required (must be engineered)
- Location of electric meter base (on the front or no farther than 5 feet down the side)
- Proposed water and sewer line locations
- Water shut off valve must be located beside the water meter box; 6" sewer clean out must be at the property line
- Square footage of the lot, structures including garage (1st & 2nd floors noted separately), and percentage of impermeable surface. (Impermeable surfaces must be shown on the site plan)

#### Design Feature Requirements (Please check your selections)

*Homes in the R-1 and R-2 zones require a minimum of 6 (at least 3 on the face of the home)*

*Homes in the CD zones require a minimum of 8 (at least 4 on the face of the home)*

- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Roof pitch at or greater than 3/12   | <input checked="" type="checkbox"/> Bay windows        |
| <input checked="" type="checkbox"/> Covered porch - (minimum of 25 square feet)  | <input checked="" type="checkbox"/> Cupolas            |
| <input checked="" type="checkbox"/> Tile or Architectural grade shingles (not composition shingle)                                   | <input checked="" type="checkbox"/> Hip roof           |
| <input checked="" type="checkbox"/> Off set of the building face or roof (at least one foot, minimum of 2 feet in cd-1 & cd-2 zones) | <input checked="" type="checkbox"/> Pillars or posts   |
| <input checked="" type="checkbox"/> Eaves with a minimum projection of six (6) inches  | <input checked="" type="checkbox"/> Mullioned windows  |
| <input checked="" type="checkbox"/> Horizontal lap siding, cedar shake or shingle on 100% of the exterior                            | <input checked="" type="checkbox"/> Window shutters    |
| <input checked="" type="checkbox"/> Recessed entry area (minimum depth of three feet)  | <input checked="" type="checkbox"/> Clerestory windows |
| <input checked="" type="checkbox"/> Garage (constructed with exterior finish materials matching the residence)                       | <input checked="" type="checkbox"/> Dormers            |
| <input checked="" type="checkbox"/> Combination of cedar shake and shingle siding or lap siding with stone                           | <input checked="" type="checkbox"/> Gables             |

#### Additional Required Plans

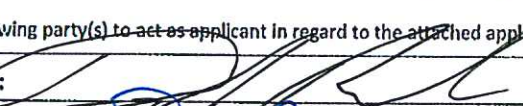
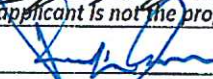
- Floor plan - Including garage (before and after drawings must be included for remodel/additions)
- Elevation of all structures - All sides must show direction, dimensions, height, design features and depth of eaves/gutters.
- Grade of property and/or grading plan
- Foundation plan for all construction - (for a manufactured home the slab & runner system)
- DEQ septic system permit & plan drawings - (if applicable)
- Geotechnical report - (if applicable)
- Drainage plan - (with engineered drawings if applicable)
- Engineered foundation - (if applicable)

**YOUR APPLICATION WILL BE DEEMED INCOMPLETE IF YOUR SITE PLAN FAILS TO LIST ALL REQUIRED INFORMATION, INCLUDING DESIGN FEATURE REQUIREMENTS WHICH MUST ALSO BE SHOWN IN YOUR SUBMITTED ELEVATION PLANS.**



**VII. PROPERTY OWNER SIGNATURE/AUTHORIZATION**

- I have read the application and the attached documentation and I understand that my application may be delayed or deemed incomplete if I have provided insufficient information and documentation to allow for approval.
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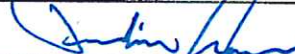
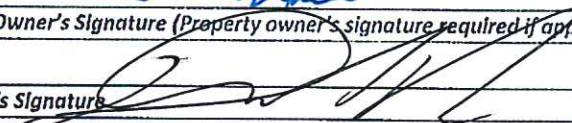
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Staff's Signature of Completeness: \_\_\_\_\_ Date: \_\_\_\_\_

Staff's Signature of Approval: \_\_\_\_\_ Date: \_\_\_\_\_





# FLOODPLAIN DEVELOPMENT PERMIT APPLICATION

Supplemental to Planning Permit Application  
Bandon Municipal Code, Chapter 15.28 Floodplain Development

City of Bandon  
555 Hwy 101  
P.O. Box 67  
Bandon, OR 97411  
Tel 541 347-7922  
Fax 541 347-1415

A Floodplain Development permit shall be required before construction or development begins within any area of special flood hazard established in Section 15.28.070. The permit shall be for all non-portable equipment location, structures including manufactured homes as set forth in the definitions of the Bandon Municipal Code, and for all other development including fill and other activities, also set forth in the definitions.

### 15.28.120 Application for development permit.

Application for a development permit shall be made on forms furnished by the city manager and may include but not be limited to: plans in duplicate drawn to scale showing the nature, location, dimensions and elevations of the area in question; existing or proposed structures, fill, storage of materials, drainage facilities, and the location of the foregoing. Specifically, the following information is required:

- A. Elevation, in relation to mean sea level, of the lowest floor (including basement) of all structures;
- B. Elevation in relation to mean sea level to which any structure has been flood proofed;
- C. Certification by a registered professional engineer or architect that the flood proofing methods for any nonresidential structure meet the flood proofing criteria in Section 15.28.170(B);
- D. Description of the extent to which a watercourse will be altered as a result of proposed development
- E. Elevation Certificate Finished Construction, prepared by a registered professional surveyor, shall be submitted and approved by the City of Bandon, prior to the issuance of a Certificate of Occupancy.
- F. Letters of Map Change
  - 1. All documentation (including surveys) for the purpose of obtaining a Letter of Map Amendment (LOMA), Letter of Map Revision (LOMR), or any proposed change to the Bandon Municipal Code, Title 15 Page 47 of 56 FIRM Map, shall be submitted and verified by the City Engineer, at the Applicant's expense, prior to submission to Federal Emergency Management Agency.
  - 2. If a letter of Map Change is issued by the Federal Emergency Management Agency, the property owner shall provide copies of all related documentation prior to any development of the site.

**I. Description (Complete for all work; choose from letter A – D for your project's need):**

2. Proposed Development Description:

<input checked="" type="checkbox"/> New Building	<input type="checkbox"/> Improvement to Existing Building	<input type="checkbox"/> Manufactured Home	<input type="checkbox"/> Filling
<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Non Residential (Business)	<input type="checkbox"/> Accessory Building (See Attached Criteria)	
<input type="checkbox"/> Other: _____			

3. Square footage of proposed structure(s) 3232 SF

4. Size and Location of proposed development (Attach site plan): ATTACHED

5. Per the proposed floodplain map, what is the zone and Panel Number of the area of the proposed development?  
 Zone: C0-1 Panel Number:  41011 C0681F  41011 C0682F  Other: 29515W013B  
#2000



6. Are other Federal, State, and/or local permits obtained?  Yes  No Type: \_\_\_\_\_

7. Is the proposed development in an identified floodway?  Yes  No

**If yes to #7, attach ANo Rise Certification@ with supporting data.**

**A. Complete for New Structures and Building Sites:**

- Base Flood Elevation at the site: 21'-0" feet NGVD. [From the Floodplain Map]
- Required lowest floor elevation (including basement): 22'-0" feet NAVD88. [For new Residential construction, the lowest habitable floor must be at least one foot above the Base Flood Elevation. For Commercial, Industrial or other non-residential construction, the lowest floor must be at or above the Base Flood Elevation.]
- Elevation to which all attendant utilities, including all heating and electrical equipment will be protected from flood damage: 22'-0" feet NAVD88.

**B. Complete for Alterations, Additions, or Improvements to Existing Structures:**

- What is the estimated Market Value of the existing Structure? (See Page 3) \$ 1,800,000
- What is the cost of the proposed construction? \$ 1,000,000
- If the cost of the proposed construction equals or exceeds 50 percent of the market value of the structure, then the substantial improvement provisions apply:

**"Substantial improvement"** means:

1. Any repair, reconstruction, or improvement of a structure, the cost of which equals or exceeds fifty (50) percent of the market value of the structure either:
  - a. Before the improvement or repair is started;
  - b. If the structure has been damaged and is being restored, before the damage occurred. For the purposes of this definition, "substantial improvement" is considered to occur when the first alteration of any wall, ceiling, floor, or other structural part of the building commences, whether or not that alteration affects the external dimensions of the structure.
2. The term does not, however, include either:
  - a. Any project for improvement of a structure to comply with existing state or local health, sanitary or safety code specifications which are solely necessary to assure safe living conditions; or
  - b. Any alteration of a structure listed on the National Register of Historic Places or a State Inventory of Historic Places.

**C. Complete for Non-Residential Flood-proofed Construction:**

Nonresidential Construction: New construction and substantial improvement of any commercial, industrial or other nonresidential structure shall either have the lowest floor, including basement, elevated to the level of the base flood elevation; or, together with attendant utility and sanitary facilities, shall:

- Be flood-proofed so that below the base flood level the structure is watertight with walls substantially impermeable to the passage of water;



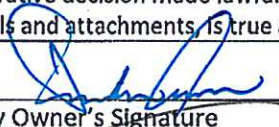

- Have structural components capable of resisting hydrostatic and hydrodynamic loads and effects of buoyancy;
- Be certified by a registered professional engineer or architect that the design and methods of construction are in accordance with accepted standards of practice for meeting provisions of this subsection based on their development and/or review of the structural design, specifications and plans. Such certifications shall be provided to the official as set forth in Section 15.28.140(C)(2);

Type of flood-proofing method: \_\_\_\_\_

Attach Flood-proofing Certificate (Must be completed and signed by registered engineer).

**D. Complete for Subdivisions and Planned Unit Developments:**

- Will the subdivision or other development contain 50 lots or 5 acres?  Yes  No
- If yes, does the plat or proposal clearly identify base flood elevations?  Yes  No
- Are the 100 Year Floodplain and the Floodway delineated on the site plan?  Yes  No

II. Consent	
I understand, acknowledge and agree that the work to be performed is described herein and in attachments hereto. I agree that all such work shall be done in accordance with the requirements of the City of Bandon Floodplain Ordinance and with all other applicable local, State and Federal regulations. This application does not create liability on the part of the City or any officer or employee thereof for any flood damage that results from reliance on this application or any administrative decision made lawfully thereunder. I certify that the information provided in this application, including all submittals and attachments is true and correct, to the best of my knowledge.	
<b>X</b> 	2/24/2022
Property Owner's Signature	Date
<b>X</b> 	3/2/22
Applicant's Signature	Date

Determining Market Value: Acceptable estimates of an existing structure can be obtained from:

1. Independent appraisals from a professional appraiser.
2. Market Value (for structure only) as listed on the current Tax Assessor's records used for tax assessment purposes.

Accessory Buildings:

1. Accessory structures shall not be used for habitation.
2. Accessory structures shall not be designed to have low flood damage potential.



3. Accessory structures shall be constructed and placed on the building site so as to offer the minimum resistance to the flow of flood waters.
4. Accessory structures shall be firmly anchored to prevent floatation which may result in damage to other structures.
5. Service facilities such as electrical and heating equipment shall be elevated or flood proofed.



**OFFICE USE ONLY**

- 1. Permit **approved**  Permit **denied**  (Statement attached)
  - 2. Elevation Certificate attached:  Yes  No
  - 3. As built lowest floor elevation: \_\_\_\_\_ feet NGVD
  - 4. Work inspected by: \_\_\_\_\_
  - 5. Local Administrator Signature: \_\_\_\_\_ Date: \_\_\_\_\_
  - 6. Conditions Attached:  Yes  No
- 
- 
- 
- 
-



# Exemption to Geologic Assessment Review Requirement

City of Bandon  
Planning Department  
P.O. Box 67  
Bandon, OR 97411  
(541) 347-7922  
[planning@cityofbandon.org](mailto:planning@cityofbandon.org)

Property Address:	NA	
Assessor's Map and Tax Lot:	29515W01BB	#2000
Property Owner:	TIM COAN	
Requested by:	DAVE REED	

- Pursuant to BMC Section 17.78.020, I am providing evidence that work will occur outside of identified landslide-risk, liquefaction-risk, and oceanfront areas, and no further review is required. *(Submittal of a site plan or hazards map showing the property and the area in which work will be performed is required.)*
- Pursuant to BMC Section 17.78.030(B), work involves one of more of the following activities with are exempt from the provisions of the Hazards Overlay Zone chapter. *(Please mark what applies.)*
  - Maintenance, repair, or alterations to existing structures that do not alter the building footprint or foundation and do not constitute substantial improvement as defined in Title 15.
  - Exploratory excavations under the direction of a certified engineering geologist or registered geotechnical engineer;
  - Construction of structures for which a building permit is not required;
  - Yard area vegetation maintenance and other vegetation removal on slopes less than 25%;
  - Maintenance and reconstruction of public and private roads, streets, parking lots, driveways, and utility lines, provided the work does not extend outside of the previously disturbed area;
  - Maintenance and repair of utility lines, and the installation of individual utility service connections;
  - Emergency response activities intended to reduce or eliminate an immediate danger to life, property, or flood or fire hazard;
  - Construction/erection of beachfront protective structures subject to regulation by the Oregon Parks and Recreation Department under OAR 736, Division 20; and
  - Any development or activity to be conducted on a site for which a certified engineering geologist has determined that there are no high or very high geologic hazards present. The City of Bandon is not liable for any type of certification that a geologic hazard is not present on site.

Property Owner Signature

2/24/2022  
Date

Tim Coan

Printed Name



Pan Zoom In Zoom Out Analysis Tools Search Tools Print Bookmark

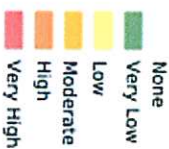
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Catalog

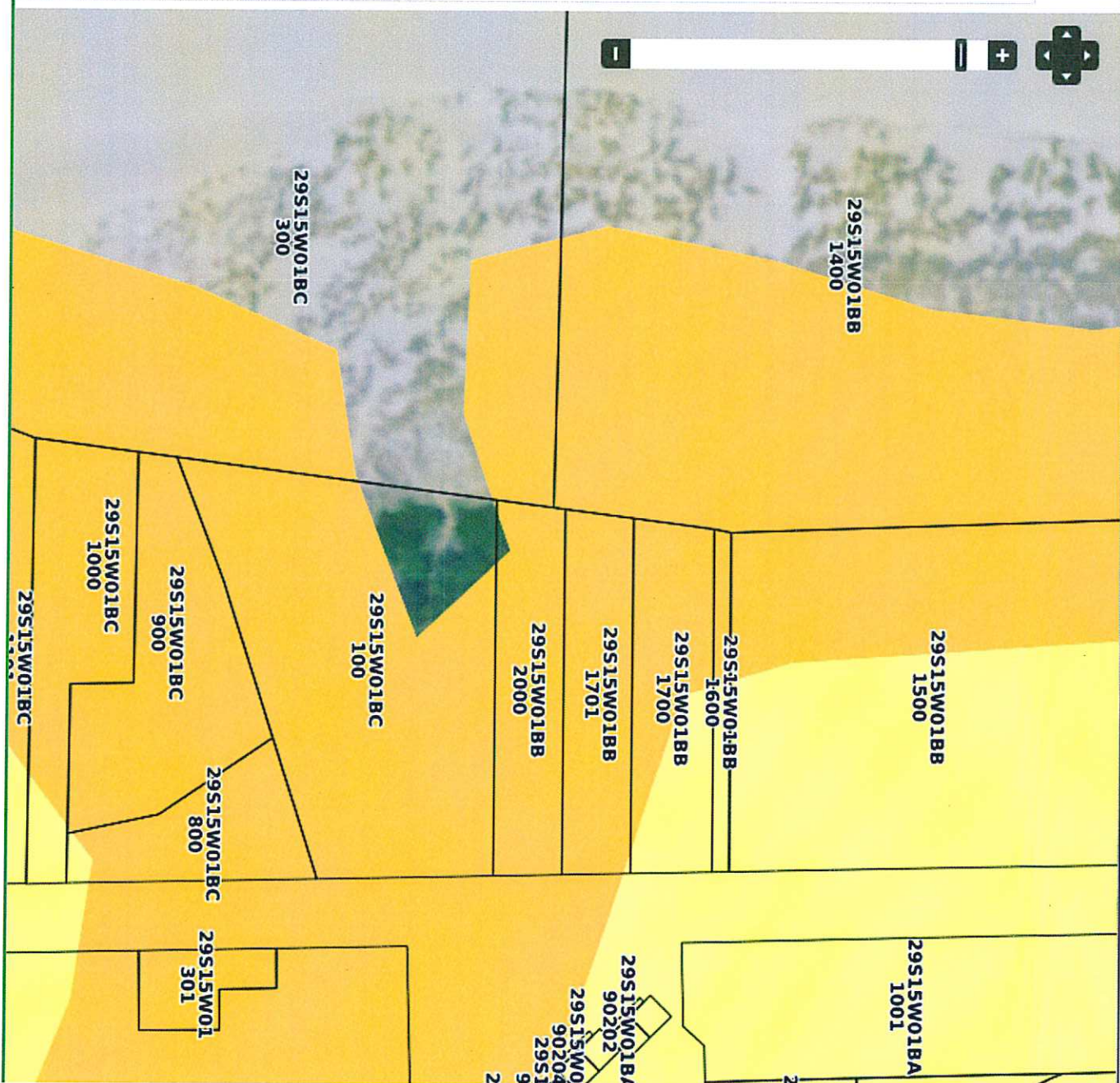
- Map Extras
- Coastal Inventory Data
- Beachfront Protective Structures Inventory, OPRD, 2015
- Goal 18 Eligibility Inventory, OCMF, 2015
- Dune Classifications, USDA, 1975
- Beaches and Dunes - Goal 18
- Coos County
- Natural Hazards
- Flood
- Sea Level Rise

- Tsunami
- Landslide
- Landslide Susceptibility, DOGAMI, 2013

- Liquefaction
- Liquefaction Susceptibility, DOGAMI



- Active Earthquake Faults
- Active Earthquake Faults, USGS, 2003
- Estuary Maps
- Estuary Mgmt Units, 1987
- Coos Coastal Shorelands Boundary
- Coos County LWI, 2014
- National Wetland Inventory
- Soils
- Administrative Boundaries
- Statutory Vegetation Line, OPRD, 1967
- Coos Tax lots
- City Limits
- Urban Growth Boundaries
- County Boundaries
- State Parks
- Coos County Zoning, 2019





**FEMA**

*NATIONAL FLOOD INSURANCE PROGRAM*

**ELEVATION CERTIFICATE**

**AND**

**INSTRUCTIONS**

**2019 EDITION**



U.S. DEPARTMENT OF HOMELAND SECURITY  
Federal Emergency Management Agency  
National Flood Insurance Program

## ELEVATION CERTIFICATE AND INSTRUCTIONS

### Paperwork Reduction Act Notice

Public reporting burden for this data collection is estimated to average 3.75 hours per response. The burden estimate includes the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and submitting this form. You are not required to respond to this collection of information unless a valid OMB control number is displayed on this form. Send comments regarding the accuracy of the burden estimate and any suggestions for reducing the burden to: Information Collections Management, Department of Homeland Security, Federal Emergency Management Agency, 500 C Street SW, Washington, DC 20742, Paperwork Reduction Project (1660-0008). **NOTE: Do not send your completed form to this address.**

### Privacy Act Statement

**Authority:** Title 44 CFR § 61.7 and 61.8.

**Principal Purpose(s):** This information is being collected for the primary purpose of estimating the risk premium rates necessary to provide flood insurance for new or substantially improved structures in designated Special Flood Hazard Areas.

**Routine Use(s):** The information on this form may be disclosed as generally permitted under 5 U.S.C. § 552a(b) of the Privacy Act of 1974, as amended. This includes using this information as necessary and authorized by the routine uses published in DHS/FEMA-003 – National Flood Insurance Program Files System or Records Notice 73 Fed. Reg. 77747 (December 19, 2008); DHS/FEMA/NFIP/LOMA-1 – National Flood Insurance Program (NFIP) Letter of Map Amendment (LOMA) System of Records Notice 71 Fed. Reg. 7990 (February 15, 2006); and upon written request, written consent, by agreement, or as required by law.

**Disclosure:** The disclosure of information on this form is voluntary; however, failure to provide the information requested may result in the inability to obtain flood insurance through the National Flood Insurance Program or the applicant may be subject to higher premium rates for flood insurance. Information will only be released as permitted by law.

### Purpose of the Elevation Certificate

The Elevation Certificate is an important administrative tool of the National Flood Insurance Program (NFIP). It is to be used to provide elevation information necessary to ensure compliance with community floodplain management ordinances, to determine the proper insurance premium rate, and to support a request for a Letter of Map Amendment (LOMA) or Letter of Map Revision based on fill (LOMR-F).

The Elevation Certificate is required in order to properly rate Post-FIRM buildings, which are buildings constructed after publication of the Flood Insurance Rate Map (FIRM), located in flood insurance Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, and AR/AO. The Elevation Certificate is not required for Pre-FIRM buildings unless the building is being rated under the optional Post-FIRM flood insurance rules.

As part of the agreement for making flood insurance available in a community, the NFIP requires the community to adopt floodplain management regulations that specify minimum requirements for reducing flood losses. One such requirement is for the community to obtain the elevation of the lowest floor (including basement) of all new and substantially improved buildings, and maintain a record of such information. The Elevation Certificate provides a way for a community to document compliance with the community's floodplain management ordinance.

Use of this certificate does not provide a waiver of the flood insurance purchase requirement. Only a LOMA or LOMR-F from the Federal Emergency Management Agency (FEMA) can amend the FIRM and remove the Federal mandate for a lending institution to require the purchase of flood insurance. However, the lending institution has the option of requiring flood insurance even if a LOMA/LOMR-F has been issued by FEMA. The Elevation Certificate may be used to support a LOMA or LOMR-F request. Lowest floor and lowest adjacent grade elevations certified by a surveyor or engineer will be required if the certificate is used to support a LOMA or LOMR-F request. A LOMA or LOMR-F request must be submitted with either a completed FEMA MT-EZ or MT-1 package, whichever is appropriate.

This certificate is used only to certify building elevations. A separate certificate is required for floodproofing. Under the NFIP, non-residential buildings can be floodproofed up to or above the Base Flood Elevation (BFE). A floodproofed building is a building that has been designed and constructed to be watertight (substantially impermeable to floodwaters) below the BFE. Floodproofing of residential buildings is not permitted under the NFIP unless FEMA has granted the community an exception for residential floodproofed basements. The community must adopt standards for design and construction of floodproofed basements before FEMA will grant a basement exception. For both floodproofed non-residential buildings and residential floodproofed basements in communities that have been granted an exception by FEMA, a floodproofing certificate is required.

Additional guidance can be found in FEMA Publication 467-1, Floodplain Management Bulletin: Elevation Certificate, available on FEMA's website at <https://www.fema.gov/media-library/assets/documents/3539?id=1727>.



# ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name D.E. Tsong Trust				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. N/A				Company NAIC Number:	
City Bandon		State Oregon		ZIP Code 97411	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Township 29s, range 15w, Section 1 BB, Tax lot 2000					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>					
A5. Latitude/Longitude: Lat. <u>43.093825</u> Long. <u>-124.430733</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number _____					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A8.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>N/A</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>					
c) Total net area of flood openings in A9.b <u>N/A</u> sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number City of Bandon 41011C0681F			B2. County Name Coos		B3. State Oregon
B4. Map/Panel Number 41011C0681	B5. Suffix F	B6. FIRM Index Date 12-07-2018	B7. FIRM Panel Effective/ Revised Date 12-07-2018	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 21.0
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input checked="" type="checkbox"/> FIS Profile <input type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					



**ELEVATION CERTIFICATE**

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. N/A			Policy Number:
City Bandon	State Oregon	ZIP Code 97411	Company NAIC Number

**SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)**

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: NGS OPUS SOLUTION REPORT Vertical Datum: OP1629744854987

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- |   |             |  |                                 |
|---|-------------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor)   | <u>N/A</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor   | <u>N/A</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only)   | <u>N/A</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab)  | <u>N/A</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building<br>(Describe type of equipment and location in Comments) | <u>N/A</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG)  | <u>16.7</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG)   | <u>28.2</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support                                  | <u>N/A</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

**SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION**

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No  Check here if attachments.

Certifier's Name Douglas C. McMahan	License Number <u>LS 1913</u>		
Title Surveyor			
Company Name Stutzner Engineering and Forestry LLC			
Address 705 South 4th st <u>P.O. Box 118</u>			
City Coos Bay	State Oregon	ZIP Code 97420	
Signature <u>Douglas C. McMahan</u>	Date	Telephone (541) 267-2872	Ext. <u>203</u>

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

**ELEVATION CERTIFICATE**

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. N/A			Policy Number:
City Bandon	State Oregon	ZIP Code 97411	Company NAIC Number

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)  
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

**SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION**

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ ZIP Code \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_ Telephone \_\_\_\_\_

Comments

Check here if attachments.



# ELEVATION CERTIFICATE

OMB No. 1660-0008  
 Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. N/A			Policy Number:
City Bandon	State Oregon	ZIP Code 97411	Company NAIC Number

## SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for:  New Construction  Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

G10. Community's design flood elevation: \_\_\_\_\_  feet  meters Datum \_\_\_\_\_

Local Official's Name	Title
-----------------------	-------

Community Name	Telephone
----------------	-----------

Signature	Date
-----------	------

Comments (including type of equipment and location, per C2(e), if applicable)

Check here if attachments.



## BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

### ELEVATION CERTIFICATE

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. N/A			Policy Number:
City Bandon	State Oregon	ZIP Code 97411	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

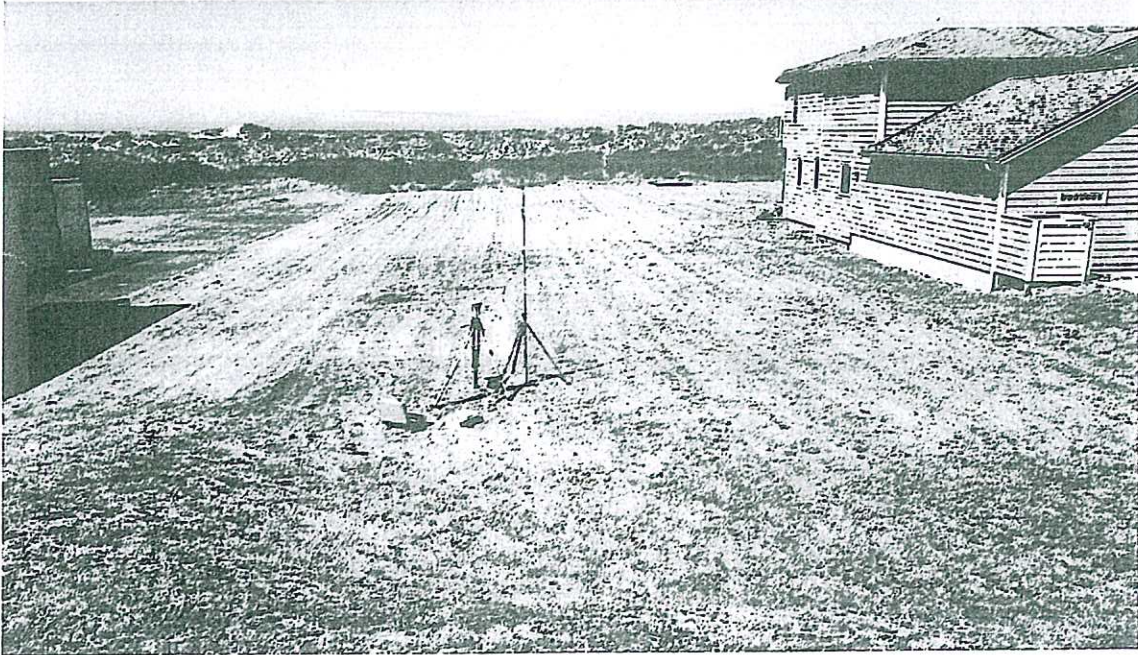


Photo One

Photo One Caption Looking West

Clear Photo One

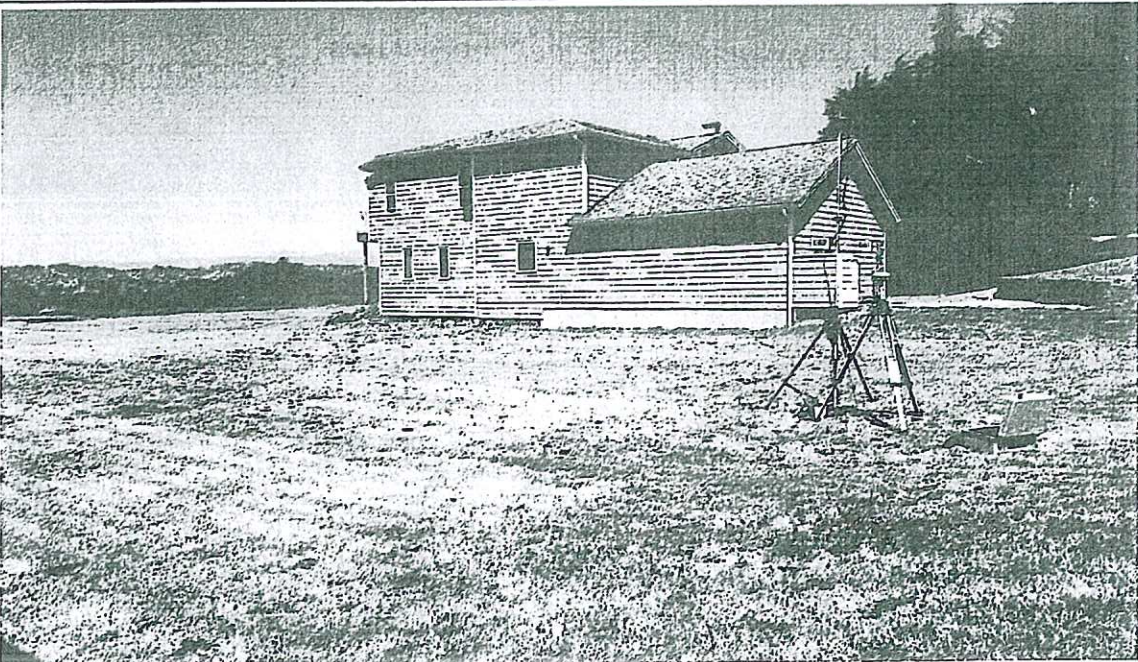


Photo Two

Photo Two Caption Looking North

Clear Photo Two



# BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008  
Expiration Date: November 30, 2022

## ELEVATION CERTIFICATE

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. N/A			Policy Number:
City Bandon	State Oregon	ZIP Code 97411	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



Photo Three

Photo Three Caption Looking South

Clear Photo Three

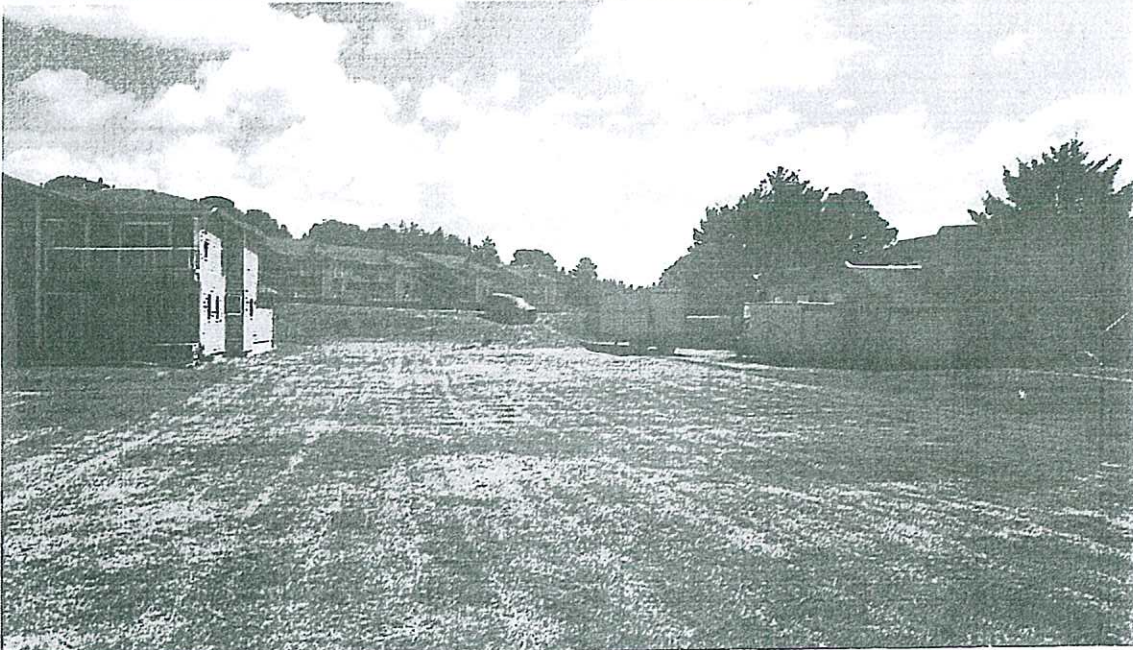


Photo Four

Photo Four Caption Looking East

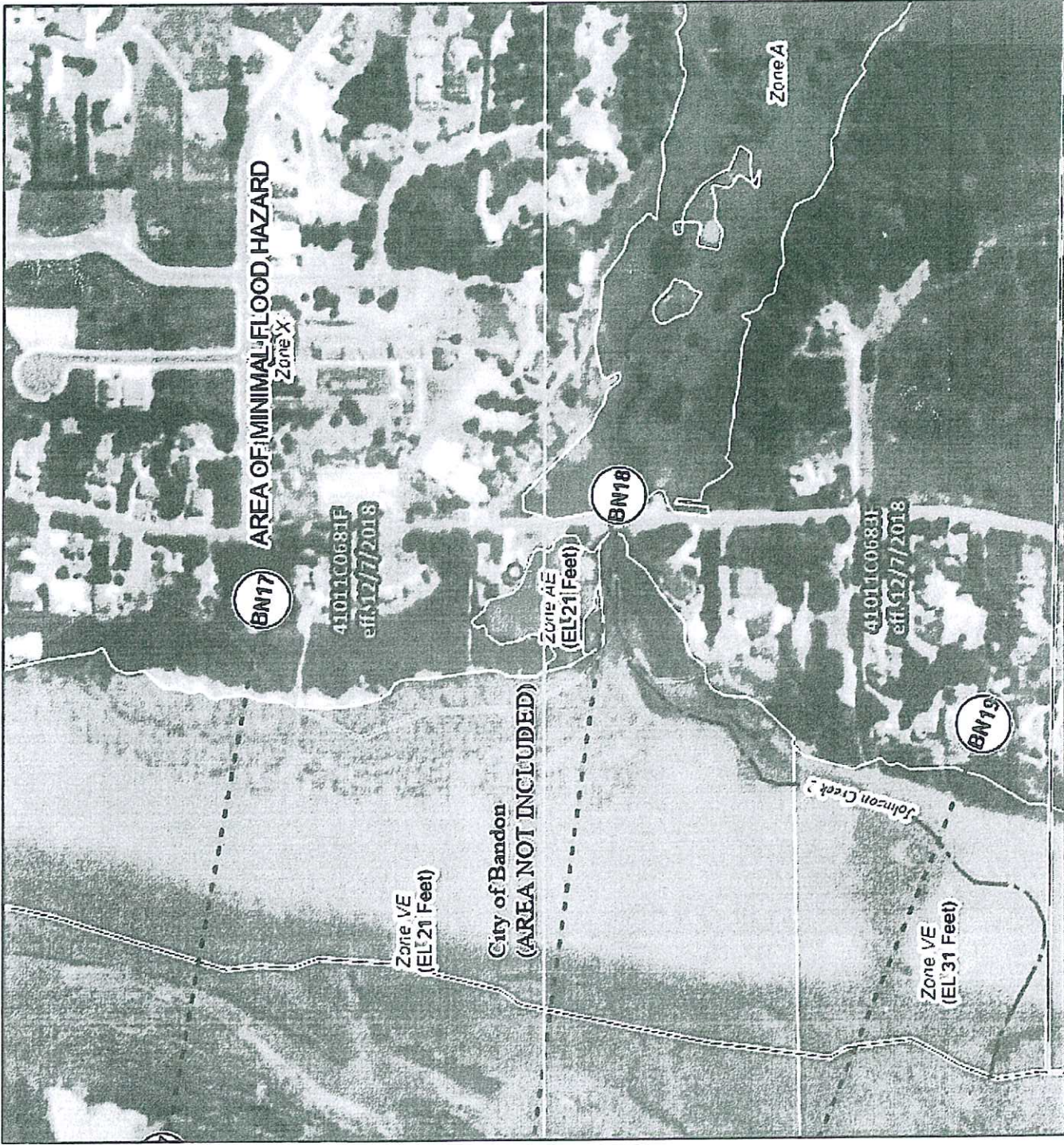
Clear Photo Four



# National Flood Hazard Layer FIRMette



124°26'9"W 43°5'51"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT.

<b>SPECIAL FLOOD HAZARD AREAS</b>	Without Base Flood Elevation (BFE) Zone A, V, A99 With BFE or Depth Zone AE, AO, AH, VE, AR Regulatory Floodway
<b>OTHER AREAS OF FLOOD HAZARD</b>	0.2% Annual Chance Flood Hazard, Area of 4% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile (Zone I) Future Conditions 1% Annual Chance Flood Hazard (Zone X) Area with Reduced Flood Risk due to Levees. See Notes. Zone X Area with Flood Risk due to Levee (Zone D)
<b>OTHER AREAS</b>	NO SCREEN Area of Minimal Flood Hazard (Zone X) Effective LOMRs Area of Undetermined Flood Hazard (Zone C)
<b>GENERAL STRUCTURES</b>	Channel, Culvert, or Storm Sewer Levee, Dike, or Floodwall
<b>OTHER FEATURES</b>	Cross Sections with 1% Annual Chance Water Surface Elevation Coastal Transect Base Flood Elevation Line (BFE) Limit of Study Jurisdiction Boundary Coastal Transect Baseline Profile Baseline Hydrographic Feature
<b>MAP PANELS</b>	Digital Data Available No Digital Data Available Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

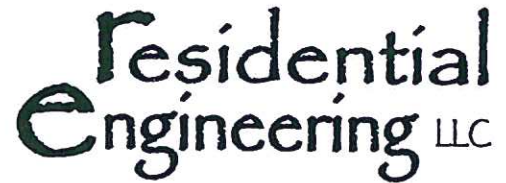
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/23/2021 at 4:04 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. If map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



2689 Bowman Road  
Reedsport, OR 97467  
scott.kent.engineering@gmail.com  
www.residentialengineering.org



**RE028-22**

**ENGINEERING FOR THE COAN RESIDENCE DRYWELL**

for

Wayward R Studio  
PO Box 1808  
Bandon, OR 97411

by

Scott M. Kent, Ph.D., P.E.

March 1, 2022

Narrative

This document presents supporting calculations for the design of a drywell for a residence located at map 29-15-01BB, TL 2000, Bandon, Oregon. The design considers a 10-year event.

Table of Contents

Assessor map	1
Rainfall calculations	2
Drywell volume calculations	5



EXPIRES: 6/2023

RE 028-22

3/1/22

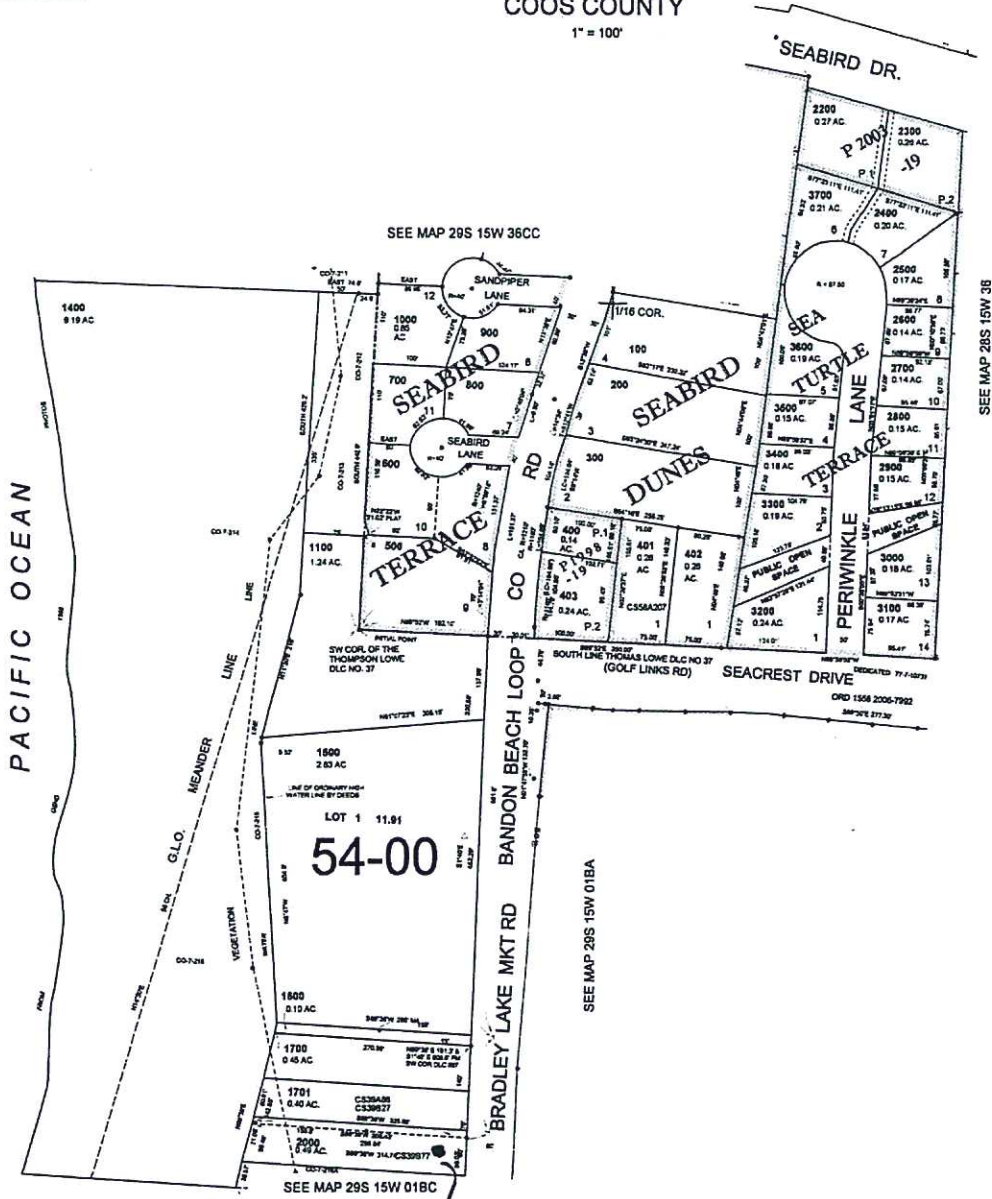
THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSE ONLY

NW1/4 NW1/4 SEC.1 T29S R15W W.M.  
COOS COUNTY

1" = 100'

29S 15W 01BB  
BANDON  
CANCELLED NO.

- 2101
- 1101
- 2100
- 1702
- 1802
- 1901
- 2001
- 1200
- 1300
- 1800
- 1801
- 1900



SEE MAP 29S 15W 36

SEE MAP 29S 15W 01BA

SEE MAP 29S 15W 01BC

SITE

11-12-2008  
29S 15W 01BB  
BANDON



IMPERVIOUS AREABUILDING AND PAVING = 6946 FT<sup>2</sup>

A = 0.16 ac

FROM ODOT ZONE 1, 10 YEAR EVENT

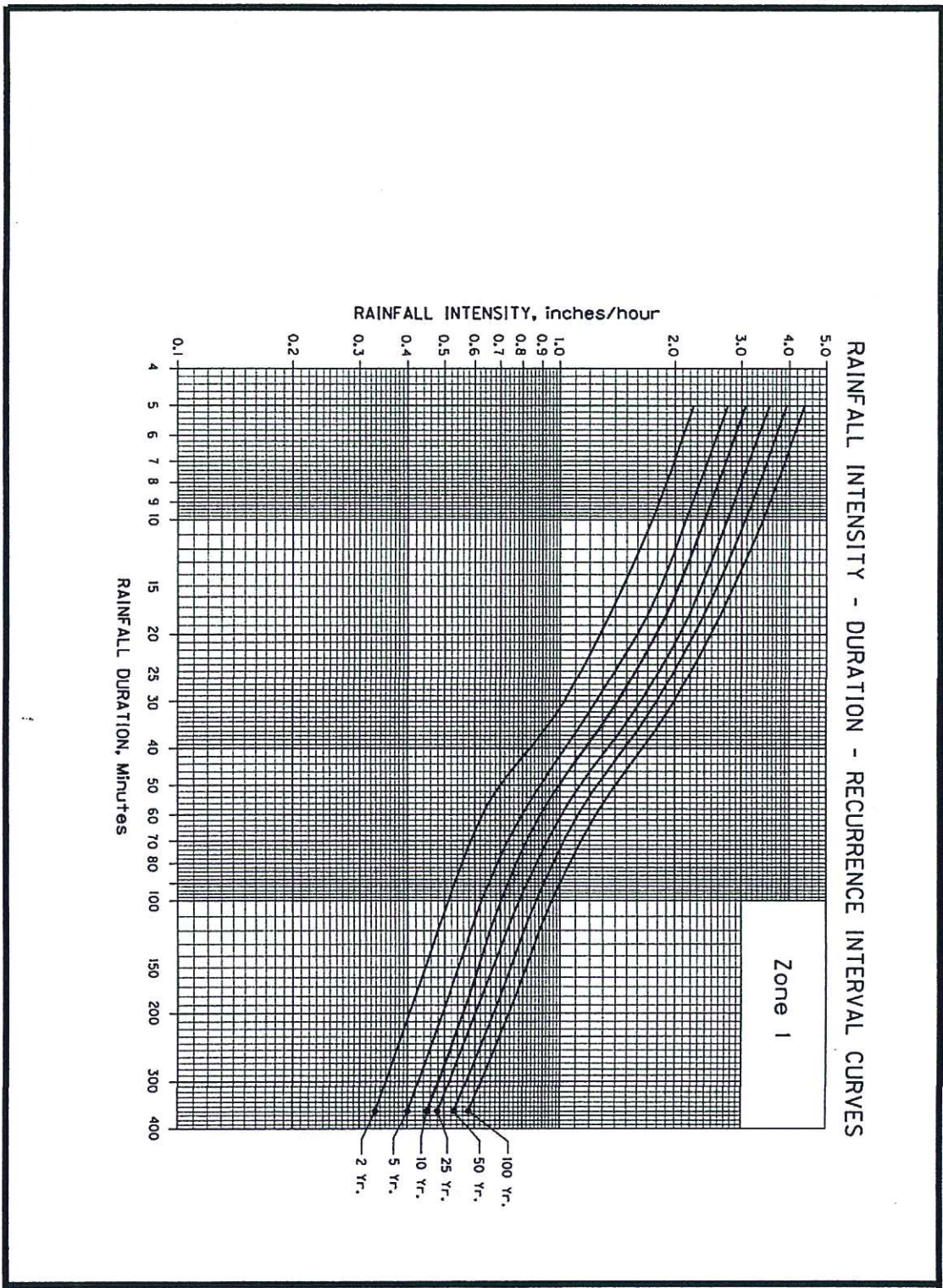
t (MIN)	INTENSITY (IN/HR)
10	2.5
30	1.6
100	0.7
400	0.45

FROM OREGON ISOPHYCAL MAP  
24-HOUR, 10-YEAR EVENT

1440 MIN (24 HR), i = 0.21 IN/HR

CONSIDER 2 IN/HR INFILTRATION (SANDY)

$$\begin{aligned} \text{INFIL} &= \left( \frac{2 \text{ IN}}{\text{HR}} \right) \left( \frac{1 \text{ HR}}{3600 \text{ SEC}} \right) \left( \frac{1 \text{ FT}}{12 \text{ IN}} \right) \\ &= \underline{4.63 \times 10^{-5} \text{ CFS}} \end{aligned}$$





FE02B-22

3/1/22

4

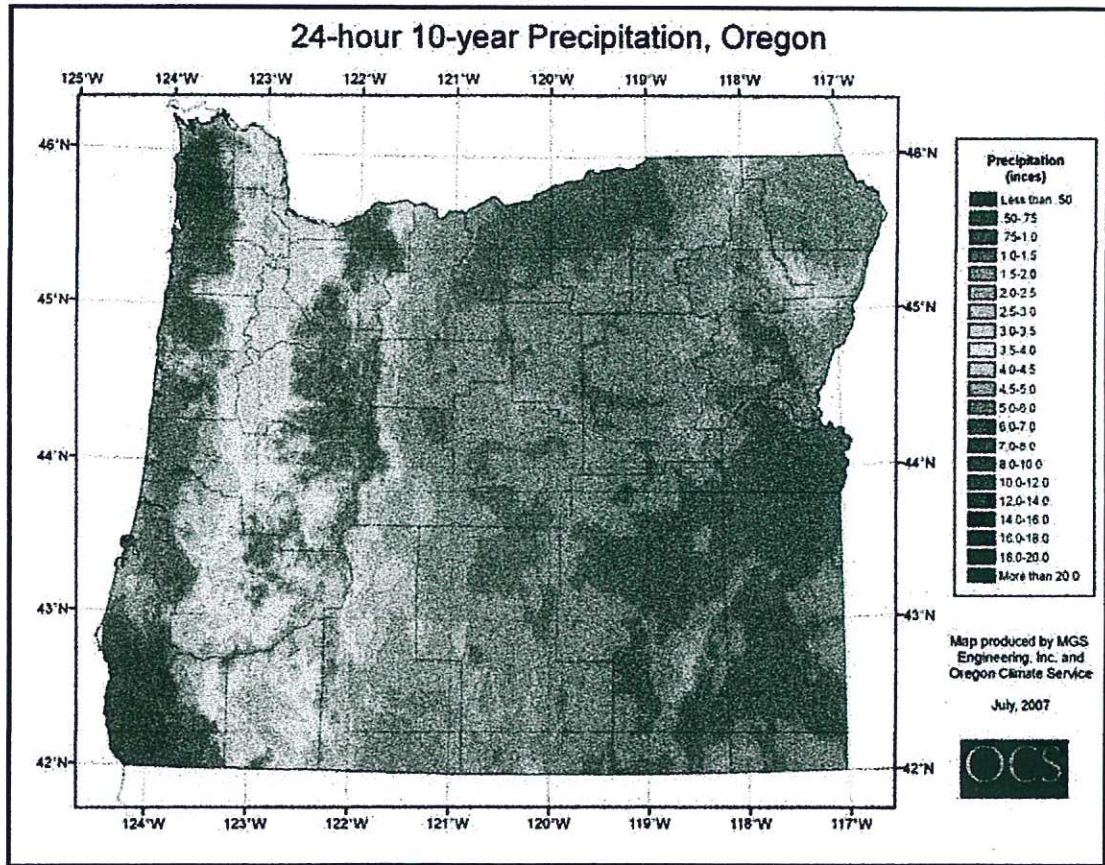


Figure B.3: Isopluvial Map of 24-Hour Precipitation for 10-Year Recurrence Interval for Oregon State.

$$\dot{U} = 5 \text{ in } 24 \text{ hours}$$

$$\dot{U}_{24} = \frac{5 \text{ in}}{24 \text{ hours}} = 0.21 \text{ in/hr}$$

RE 028-22

3/1/22

5

RE028-22  
 Location: Bandon  
 10- year design event

**INPUT VALUES BELOW**

Time (min)	C	Area (in ac)	I (in/hr) from IDF curves	Inflow rate (cfs)	Inflow volume (cf)	Outflow rate (cfs)	Storage volume (cf)	Outflow volume (cf)	Storage+ Outflow volume (cf)	Delta
10	0.9	0.16	2.50	0.3600	216	0.0347	900	20.8	921	705
30	0.9	0.16	1.60	0.2304	415	0.0347	900	62.5	963	548
100	0.9	0.16	0.70	0.1008	605	0.0347	900	208.4	1108	504
400	0.9	0.16	0.45	0.0648	1555	0.0347	900	833.4	1733	178
1440	0.9	0.16	0.21	0.0302	2613	0.0347	900	3000.2	3900	1288

Drywell Dimensions

Length 25 ft  
 Width 30 ft  
 Depth 3 ft  
 Inf rate 4.63E-05 cf / s / sf (2" per hour infiltr rate)

Vv 0.4

Storage 900 cubic feet  
 Bottom area 750 sf  
 Rock vol 2250 cubic feet  
 Rock vol 83 cubic yards  
 AREA 750 sf



# GENERAL NOTES

## PROJECT DESCRIPTION:

- DRYWELL DESIGN AND SPECIFICATIONS TO MANAGE STORM WATER DRAINAGE FOR A PROPOSED RESIDENTIAL STRUCTURE WITH CONCRETE DRIVEWAY, 6946 SF OF IMPERVIOUS AREA (RESIDENCE AND DRIVEWAY)

## PROPERTY LOCATION:

- MAP 29-15-01BB, TL 2000

## DESIGN NOTES:

- ASSUMED DATUM
- THIS PLAN IS FOR THE PROPOSED DRYWELL, ONLY; STRUCTURES AND PROPERTY LINES MAY BE APPROXIMATELY PLACED
- CONNECT ROOF DRAINAGE SYSTEM TO PIPE NETWORK AND ROUTE TO THE DRYWELL AS INDICATED
- PROVIDE CLEAN OUTS (CO) FOR LONG TERM MAINTENANCE AS SHOWN
- PIPE SHALL BE SCH40 PVC
- USE SOLID PIPE NETWORK TO ROUTE STORM WATER TO DRYWELL AT A MINIMUM SLOPE OF 0.5%
- USE PERF PIPE IN DRYWELL, S=0%

## DRYWELL AGGREGATE BACKFILL

- FURNISH CLEAN, CRUSHED AGGREGATE FOR THE DRYWELL BACKFILL HAVING THE FOLLOWING GRADATION, OR SIMILAR

SIEVE	PERCENT PASSING
2"	100
1-1/2"	80-100
1"	0-15
3/4"	0-5

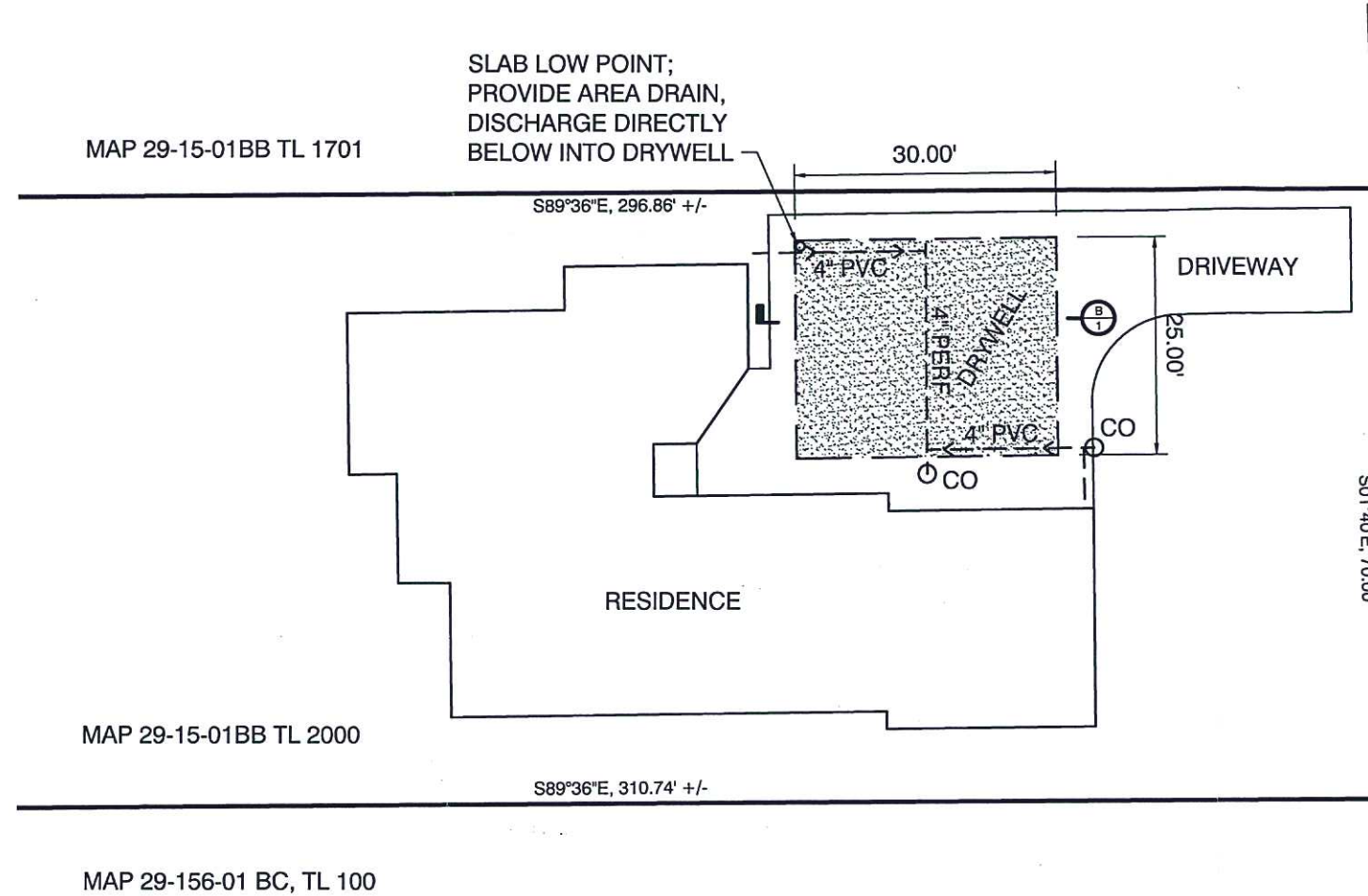
## GEOTEXTILE:

USE MIRAFI 140NL NON WOVEN GEOTEXTILE (OR SIMILAR) TO SEPARATE NATIVE MATERIAL FROM THE DRAINAGE AGGREGATE BACKFILL

## LONG TERM MAINTENANCE:

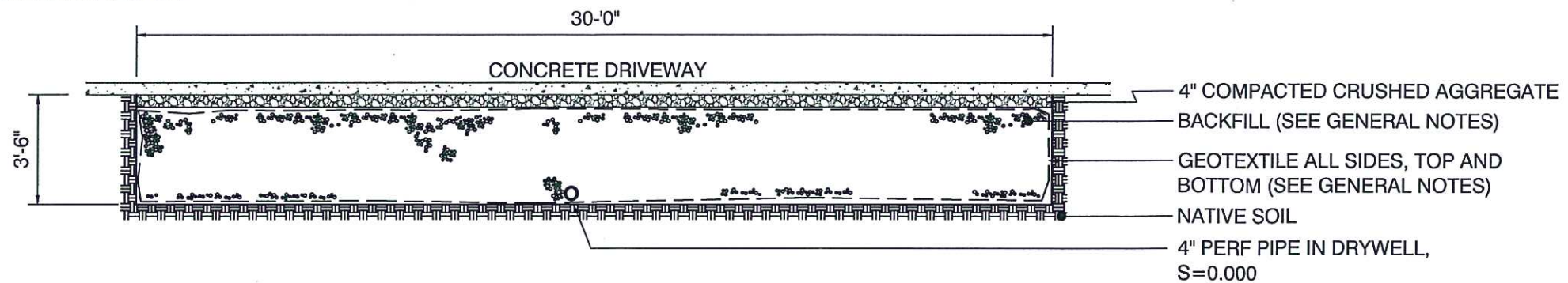
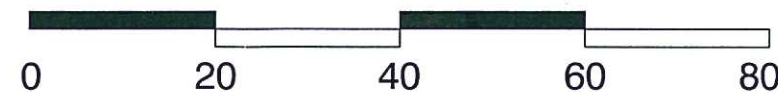
- PROVIDE CONCRETE SLAB JOINT OVER PERF PIPE IN DRYWELL AND TOOLED CONTRACTION JOINTS 5 FEET EITHER SIDE, PARALLEL TO PIPE
- A PORTION OF THE CONCRETE SLAB MAY REQUIRE REMOVAL FOR PIPE MAINTENANCE IN THE FUTURE

SLAB LOW POINT;  
PROVIDE AREA DRAIN,  
DISCHARGE DIRECTLY  
BELOW INTO DRYWELL



**A** DRYWELL SITE PLAN  
1" = 20'

SCALE (FEET)



**B** DRYWELL SECTION  
1" = 4'



EXPIRES: 6/31/2023

COAN RESIDENCE  
DRYWELL

TITLE

WAYWARD R STUDIO  
PO BOX 1808  
BANDON, OR 97411  
CLIENT

Residential  
Engineering LLC

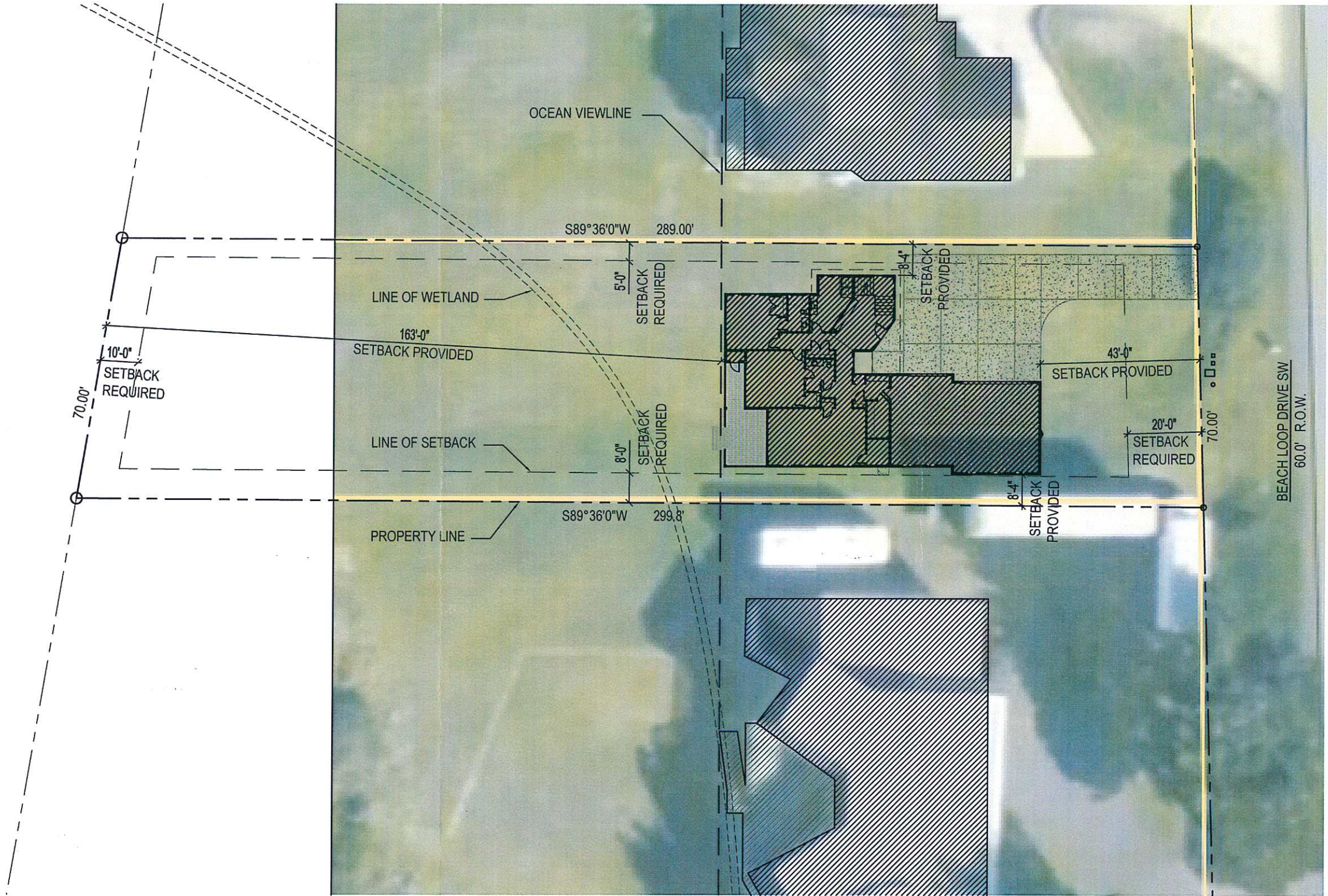
2689 BOWMAN ROAD  
REDSFORD, OR 97467  
www.residentialengineering.org  
scott.kent.engineering@gmail.com

PROJECT: RE028-22 DATE: MARCH 1, 2022

1



COAN RESIDENCE  
 29815W01BB #2000  
 BANDON OR. 97411



FLOODPLAIN DATA	
FIRST FLOOR ELEVATION	22.0'
BASE FLOOD ELEVATION	21.0'
AVERAGE NATIVE GRADE	19.5'
WEST	20', 19' 19' 18'
NORTH	20', 20', 20', 20'
EAST	20', 20', 20', 20'
SOUTH	20', 18', 19'

OVERALL SITE PLAN

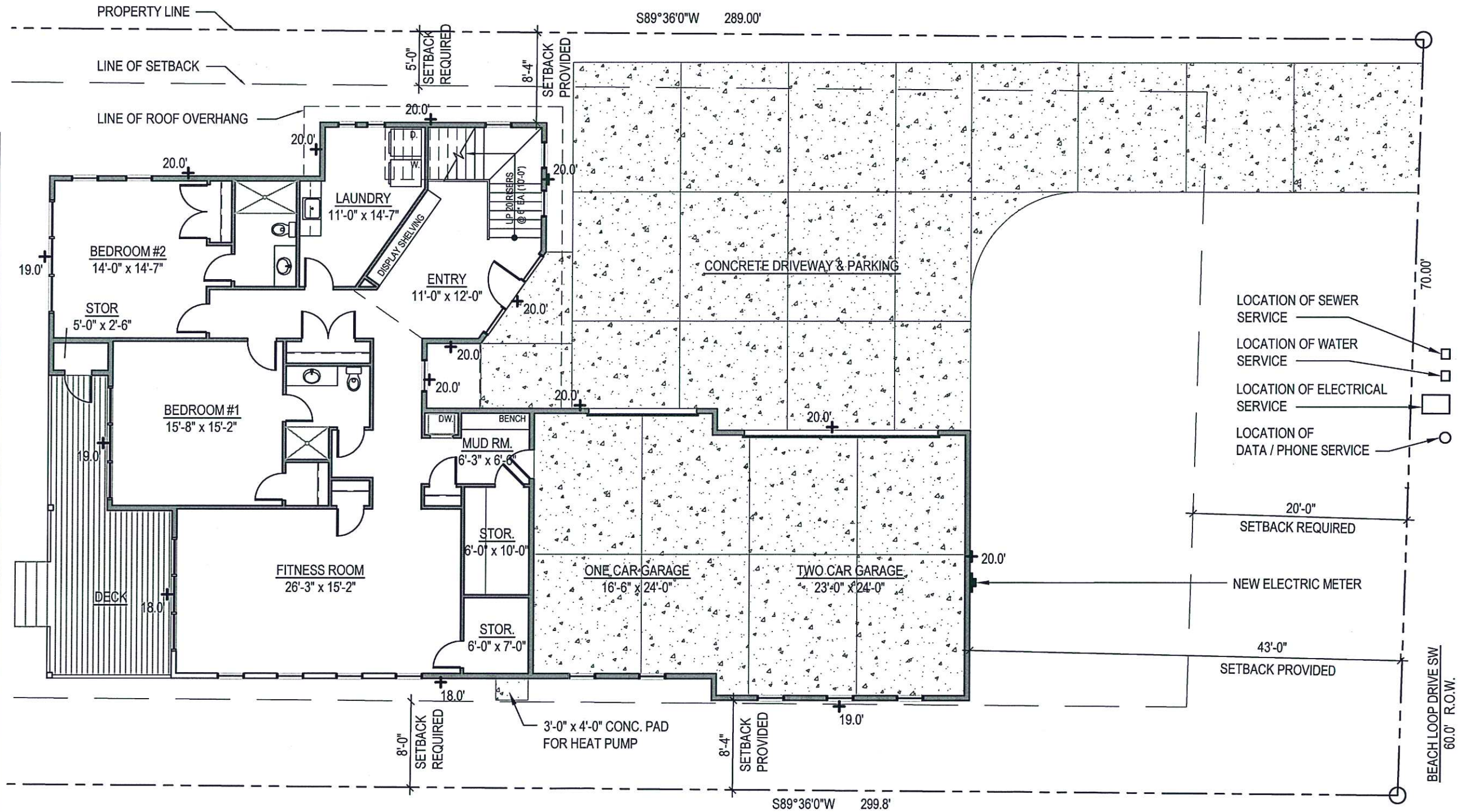
SCALE: 1" = 30'-0"





COAN RESIDENCE  
 29S15W01BB #2000  
 BANDON OR. 97411

SITE DATA	
MAP AND TAX LOT:	29S15W01BB LOT 2000
ZONING DISTRICT:	CD-1 CONTROLLED DEVELOPMENT 1
LOT SIZE:	21,344sf
<b>SETBACK</b>	<b>REQUIRED PROVIDED</b>
FRONT	20'-0" 40'-0"
SIDE	8'-0" 8'-4"
SIDE MINIMUM	5'-0" 8'-4"
REAR	10'-0" 163'-0"
<b>BUILDING HEIGHT</b>	
ALLOWED	24'-0"
PROVIDED	24'-0"
<b>NEW CONSTRUCTION</b>	
FIRST FLOOR	1879sf
GARAGE	1015sf
SECOND FLOOR	2106sf
TOTAL	5000sf
<b>BUILDING LOT COVERAGE</b>	
PROVIDED	2894sf
COVERED DECK	338sf
TOTAL	3232sf
ALLOWED < 50%	$21,344sf / 2 = 10,672sf$
<b>IMPERVIOUS SURFACE</b>	
FIRST FLOOR	2026sf
PAVING & CONCRETE	4920sf
TOTAL	6946sf
ALLOWED < 65%	$21,344 sf \times .65 = 13,873 sf$
<b>DESIGN FEATURES PROVIDED</b>	
COVERED PORCH	
OFFSET BUILDING FACE	
RECESSED ENTRY	
GARAGE WITH MATCHING EXTERIOR FINISH	
LAP SIDING W/ STONE	
PILLARS OR POSTS	
MULLIONED WINDOWS	
CLERESTORY WINDOWS	



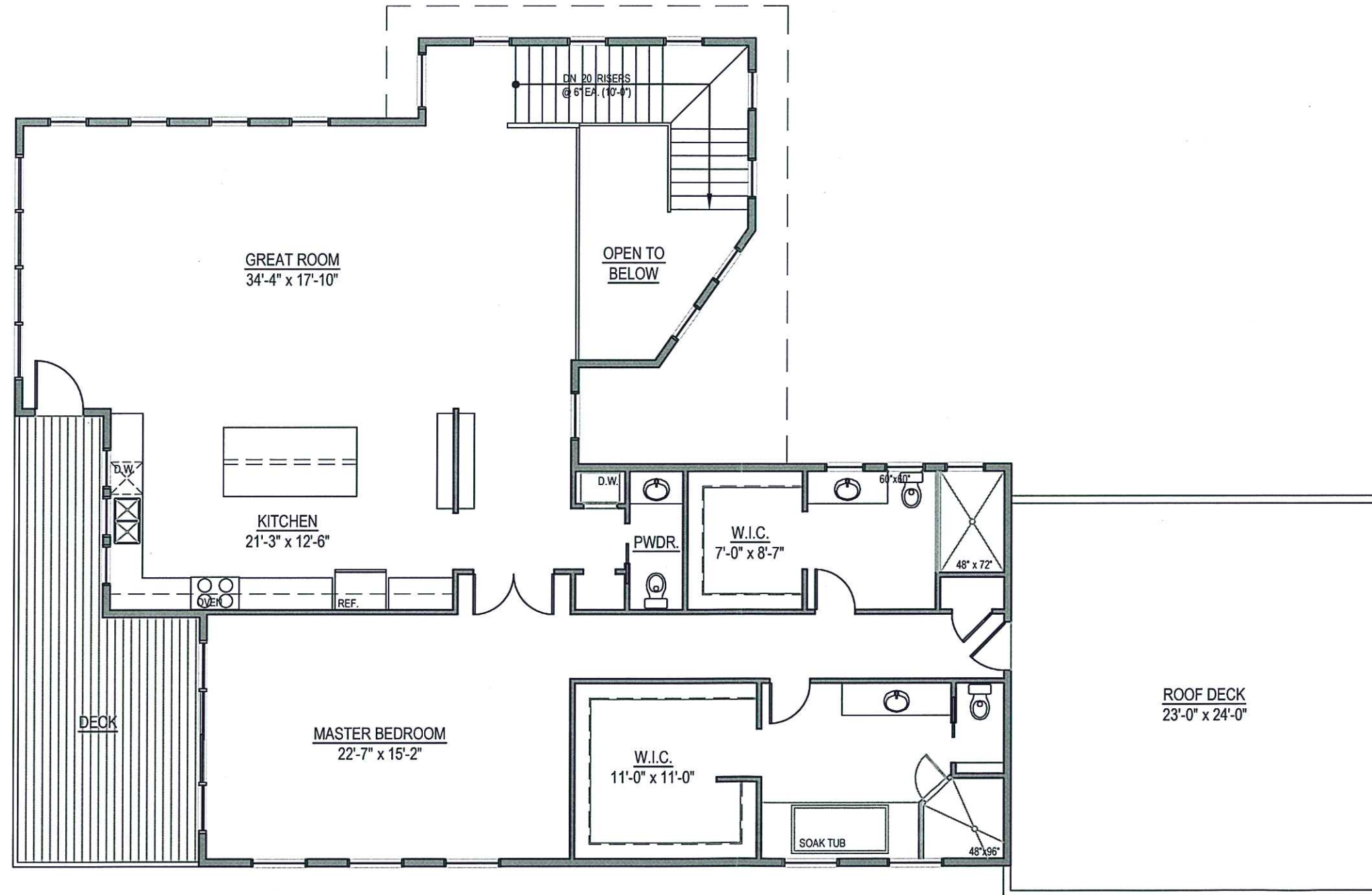
**SITE PLAN**

SCALE : 1"=10'-0"





COAN RESIDENCE  
29S15W01BB #2000  
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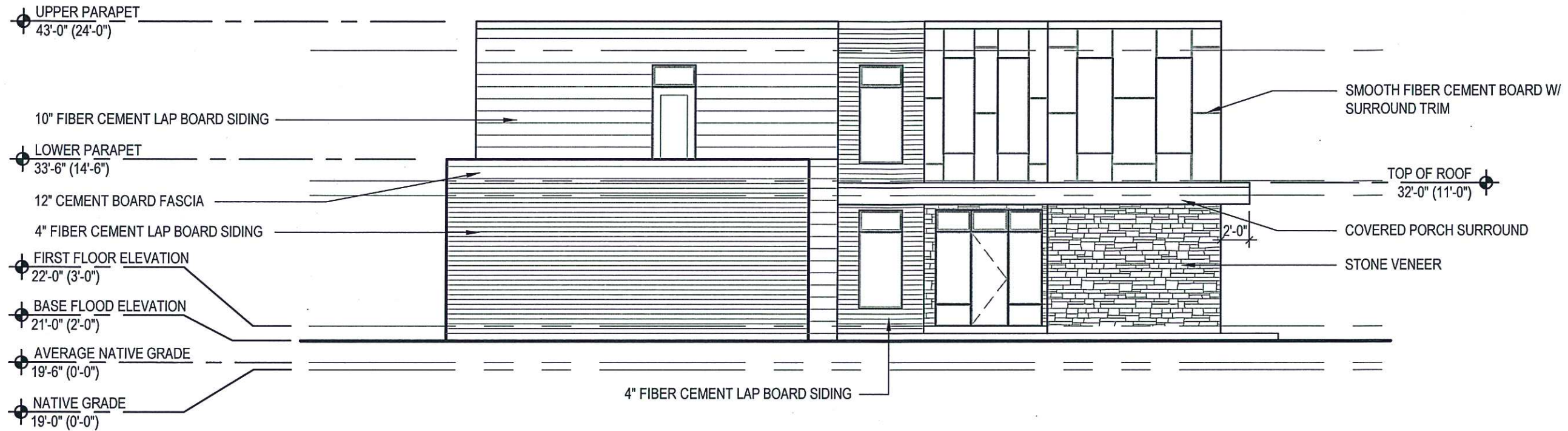
## SECOND FLOOR

SCALE: 1/8"=1'-0"



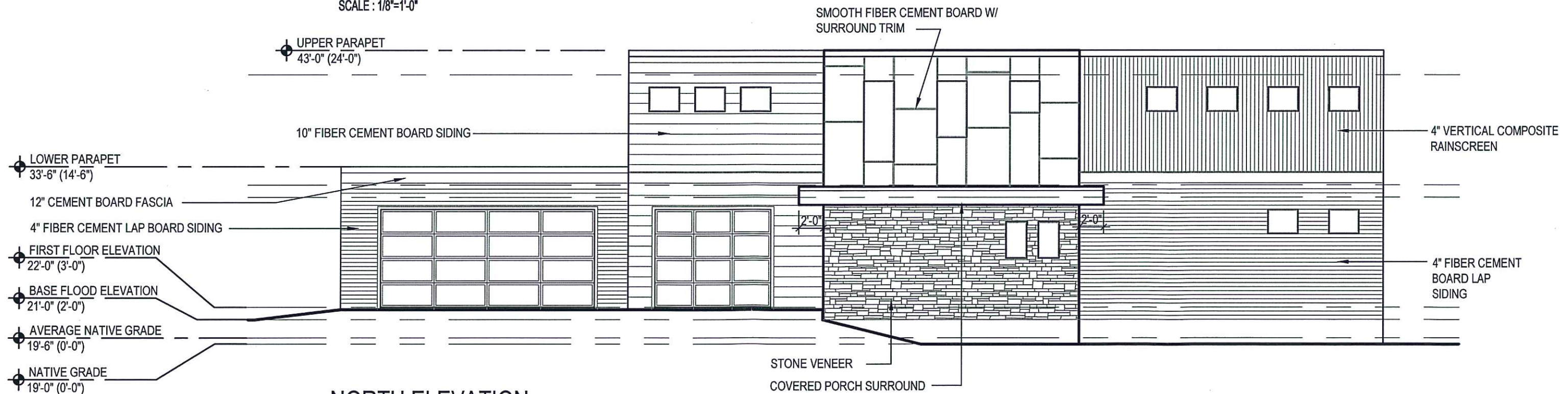


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**EAST ELEVATION**

SCALE : 1/8"=1'-0"



**NORTH ELEVATION**

SCALE : 1/8"=1'-0"

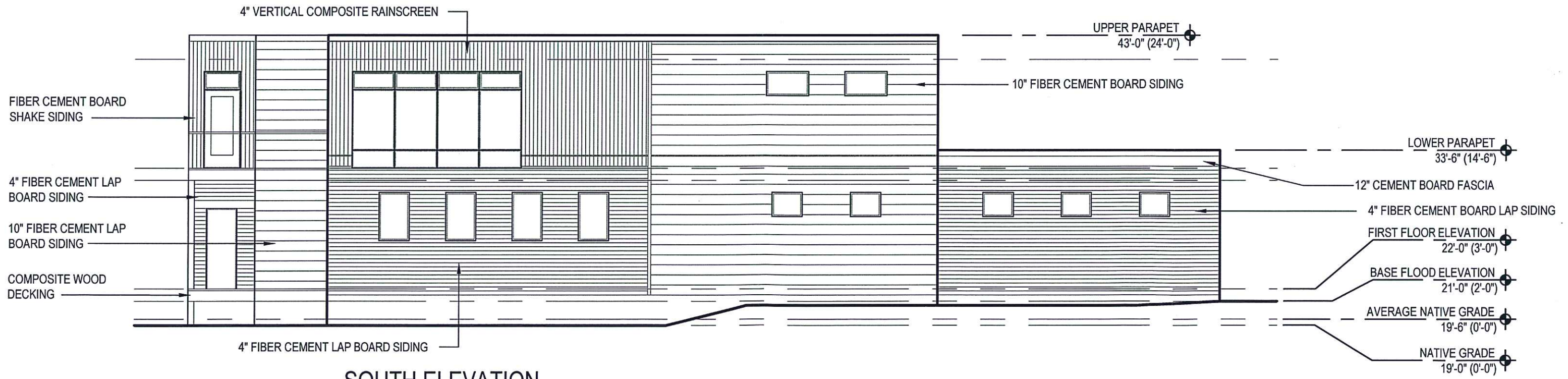


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### WEST ELEVATION

SCALE: 1/8"=1'-0"



### SOUTH ELEVATION

SCALE: 1/8"=1'-0"