



# Planning Permit Application

CITY OF BANDON PLANNING  
P.O. BOX 67  
555 HWY 101  
BANDON, OR 97411  
P:(541) 347-2437  
F:(541)347-1415

Permit Number:

<b>APPLICATION TYPE (select all that apply)</b>		
<input type="checkbox"/> Annexation*	<input type="checkbox"/> Land Use Review*	<input type="checkbox"/> Subdivision*
<input type="checkbox"/> Certificate of Appropriateness (CoA)*	<input type="checkbox"/> Partition*	<input type="checkbox"/> Vacation*
<input type="checkbox"/> Comprehensive Plan or Zone Amendment*	<input checked="" type="checkbox"/> Plan Review (PR)	<input type="checkbox"/> Variance*
<input type="checkbox"/> Conditional Use Permit (CUP)*	<input type="checkbox"/> Planned Unit Development (PUD)*	<input checked="" type="checkbox"/> Zoning Compliance (ZC)
<input type="checkbox"/> Floodplain Development*	<input type="checkbox"/> Property Line Adjustment (PLA)*	<input type="checkbox"/> Other _____*
* Pre-application required		Total Fees: \$

<b>I. PROJECT LOCATION</b>		
Street Address: 3312 Fairway Court, Bandon, OR, 97411		
Map Number / Tax Lot(s): 29S-15W-1-02400 /	Zone: CD-1	Floodplain: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

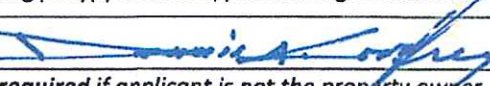
<b>II. APPLICANT'S INFORMATION</b> (applicant is the primary party responsible for development)		
Applicant's Name: Dennis & Annette Godfrey	Phone: (541) 301-4712	E-Mail: d.godfrey@charter.net
Applicant's Mailing Address: 329 N. Royal Ave., Eagle Point, OR, 97524		

<b>III. PROPERTY OWNER'S INFORMATION</b>		
Property Owner's Name: Dennis & Annette Godfrey	Phone: (541) 301-4712	E-mail: d.godfrey@charter.net
Mailing Address: 329 N. Royal Ave., Eagle Point, OR, 97524		

<b>IV. OTHER INFORMATION (APPLICANT'S REP, SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, ETC)</b>		
Title: Adair Homes - Project Administrator	Name: Gary Williams	
Email: gwilliams@adairhomes.com	Phone: 541.658.2040	
Title:	Name:	
Email:	Phone:	
Title:	Name:	
Email:	Phone:	

<b>V. PROJECT DESCRIPTION</b>		
Use: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Other _____		
*Please <u>attach</u> a short narrative that describes your proposed project and indicates the proposed use.		
New SFD w/ Ductless Heat Pump with Cadets & Detached Garage		

**VI. SITE PLAN:** Please see our "How to Create a Site Plan" and sample site plan document for requirements and tips on how to create your site plan. Plans must be drawn to scale and may be submitted electronically; **printed copies must be submitted on 11x17, ledger size paper (larger or smaller paper sizes will not be accepted).**

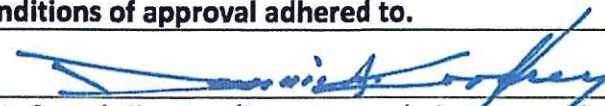
<b>VII. PROPERTY OWNER SIGNATURE/AUTHORIZATION</b>	
<ul style="list-style-type: none"> <li>I have read the application and the attached documentation and I understand that my application may be delayed or deemed incomplete if I have provided insufficient information and documentation to allow for approval.</li> <li>I certify that the information provided in this application, including all submittals and attachments, is true and correct to the best of my knowledge.</li> <li>I understand and agree that all required inspections will be requested 2 business days in advance, and it is the applicant's responsibility to ensure required inspections have been requested, completed, and approved.</li> <li>I authorize the City of Bandon or its acting agent, to enter onto the subject property, as described in section "I. Project location".</li> <li>I authorize the following party(s) to act as applicant in regard to the attached application for the subject property described above.</li> </ul>	
<b>X Applicant's Signature:</b> 	<b>Date:</b> 5-12-2021
<i>Property owner's signature required if applicant is not the property owner</i>	
<b>X Property Owner's Signature:</b>	<b>Date:</b>

**Development Disclosure**

The City of Bandon is obligated to report all ground disturbances within the City of Bandon to the Coquille Indian Tribe. Property owners and applicants must adhere to all conditions and requirements set out by the Coquille Indian Tribe, State Historic Preservation Office (SHPO) or both if required. Please be aware that state statutes and federal law govern how archaeological sites are to be managed. ORS 97.745 prohibits the willful removal, mutilation, defacing, injury, or destruction of any cairn, burial, human remains, funerary objects, or objects of cultural patrimony of a Native Indian. ORS 358.920 prohibits excavation, injury, destruction, or alteration of an archaeological site or object, or removal of an archaeological object from public or private lands.

It is the property owner and applicant's responsibility to determine if additional permits from other agencies will be required, including but not limited to: Oregon State Building Codes, Oregon State Department of Environmental Quality, FEMA, Oregon State Fish and Wildlife and U.S. Fish and Wildlife. If additional permits are required, it is the responsibility of the property owner/applicant to obtain such permits and comply with their conditions of approval.

It is the property owner/applicant's responsibility to provide the City of Bandon all necessary legal documentation related to the property, including but not limited to: proof of ownership, receipts, deed restrictions, vacation records, easement records, etc.

<b>I acknowledge, understand, and agree, that all relevant documentation will be provided to the City of Bandon, and that all required permits and consent will be obtained prior to the start of construction, with all conditions of approval adhered to.</b>	
<b>X</b> 	5-12-2021
<i>Property Owner's Signature (Property owner's signature required if applicant is not the property owner)</i>	<b>Date</b>
<b>X</b>	
<b>Applicant's Signature</b>	<b>Date</b>

Staff's Signature of Intake: \_\_\_\_\_ Date: \_\_\_\_\_

Staff's Signature of Completeness: \_\_\_\_\_ Date: \_\_\_\_\_

Staff's Signature of Approval: \_\_\_\_\_ Date: \_\_\_\_\_

### **Submittal Requirements:**

1. Completed Pre-Application with summary notes from the Planning Department (if applicable)
2. Complete Planning Permit application (including fees and applicable property records)
3. Signed Development Disclosure
4. Completed Submittal Requirement sheet

#### **Site Plan Requirements (please check that you have completed each of the following)**

- Setbacks on all sides of the property (must be marked from the closest structure to the property line)
- Property line must be clearly marked on all sides - if property corners cannot be determined a survey will be required.
- Location of all buildings and proposed building or addition
- Location of all mechanical equipment and proposed equipment (HVAC, propane tanks and enclosures - these cannot be located in the setback area)
- Fences, patios, sidewalks, (if being built along with the construction of a building)
- Decks, steps, porches (these cannot be located in the setback)
- All off-street parking
- Location of the front entrance and all exterior doorways
- Location & material of the driveway
- Direction of roof drainage
- Drywell, if required (must be engineered)
- Location of electric meter base (on the front or no farther than 5 feet down the side)
- Proposed water and sewer line locations
- Water shut off valve must be located beside the water meter box; 6" sewer clean out must be at the property line
- Square footage of the lot, structures including garage (1st & 2nd floors noted separately), and percentage of impermeable surface. (Impermeable surfaces must be shown on the site plan)

#### **Design Feature Requirements (Please check your selections)**

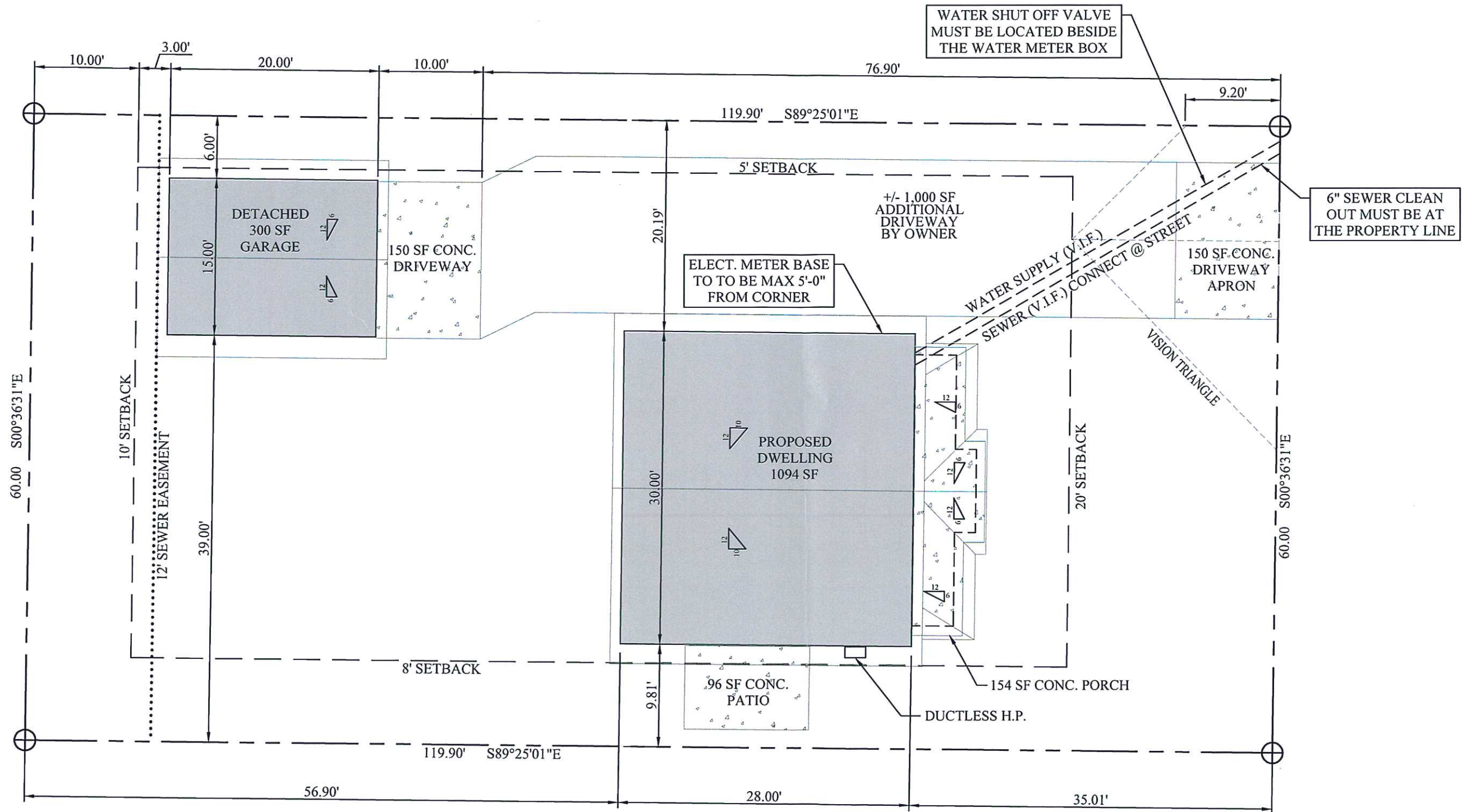
*Homes in the R-1 and R-2 zones require a minimum of 6 (at least 3 on the face of the home)  
Homes in the CD zones require a minimum of 8 (at least 4 on the face of the home)*

- |   |  |
|---|--|
| <input type="checkbox"/> Roof pitch at or greater than 3/12   | <input type="checkbox"/> Bay windows                 |
| <input type="checkbox"/> Covered porch - (minimum of 25 square feet)  | <input type="checkbox"/> Cupolas                     |
| <input type="checkbox"/> Tile or Architectural grade shingles (not composition shingle)                                   | <input type="checkbox"/> Hip roof                    |
| <input type="checkbox"/> Off set of the building face or roof (at least one foot, minimum of 2 feet in cd-1 & cd-2 zones) | <input checked="" type="checkbox"/> Pillars or posts |
| <input type="checkbox"/> Eaves with a minimum projection of six (6) inches  | <input type="checkbox"/> Mullioned windows           |
| <input type="checkbox"/> Horizontal lap siding, cedar shake or shingle on 100% of the exterior                            | <input type="checkbox"/> Window shutters             |
| <input type="checkbox"/> Recessed entry area (minimum depth of three feet)  | <input type="checkbox"/> Clerestory windows          |
| <input type="checkbox"/> Garage (constructed with exterior finish materials matching the residence)                       | <input type="checkbox"/> Dormers                     |
| <input type="checkbox"/> Combination of cedar shake and shingle siding or lap siding with stone                           | <input checked="" type="checkbox"/> Gables           |

#### **Additional Required Plans**

- Floor plan - Including garage (before and after drawings must be included for remodel/additions)
- Elevation of all structures - All sides must show direction, dimensions, height, design features and depth of eaves/gutters.
- Grade of property and/or grading plan
- Foundation plan for all construction - (for a manufactured home the slab & runner system)
- DEQ septic system permit & plan drawings - (if applicable)
- Geotechnical report - (if applicable)
- Drainage plan - (with engineered drawings if applicable)
- Engineered foundation - (if applicable)

**YOUR APPLICATION WILL BE DEEMED INCOMPLETE IF YOUR SITE PLAN FAILS TO LIST ALL REQUIRED INFORMATION, INCLUDING DESIGN FEATURE REQUIREMENTS WHICH MUST ALSO BE SHOWN IN YOUR SUBMITTED ELEVATION PLANS.**



**TRENCHING LENGTHS:**

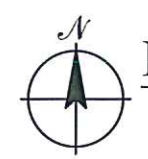
ELECTRICAL APPROXIMATE	V.I.F.
WATER APPROXIMATE	41'
SANITARY APPROXIMATE	41'

**FLATWORK AREAS**

DRIVEWAY	N.T.E. 150 S.F.
FRONT WALKWAY	N/A
FRONT PORCH	N.T.E. 154 S.F.
SIDE PATIO	N.T.E. 96 S.F.

**IMPERVIOUS SURFACE**

LIVING AREA	840 S.F.
GARAGE AREA	300 S.F.
DRIVEWAY BY ADAIR	150 S.F.
DRIVEWAY BY OTHERS	1,000 S.F.
APRON BY ADAIR	150 SF
FRONT PORCH	154 S.F.
SIDE PATIO	96 S.F.
<b>TOTAL IMPERVIOUS AREA</b>	<b>2,650 S.F.</b>
<b>TOTAL LOT AREA</b>	<b>7,194 S.F.</b>
<b>IMPERVIOUS AREA</b>	<b>36.83%</b>

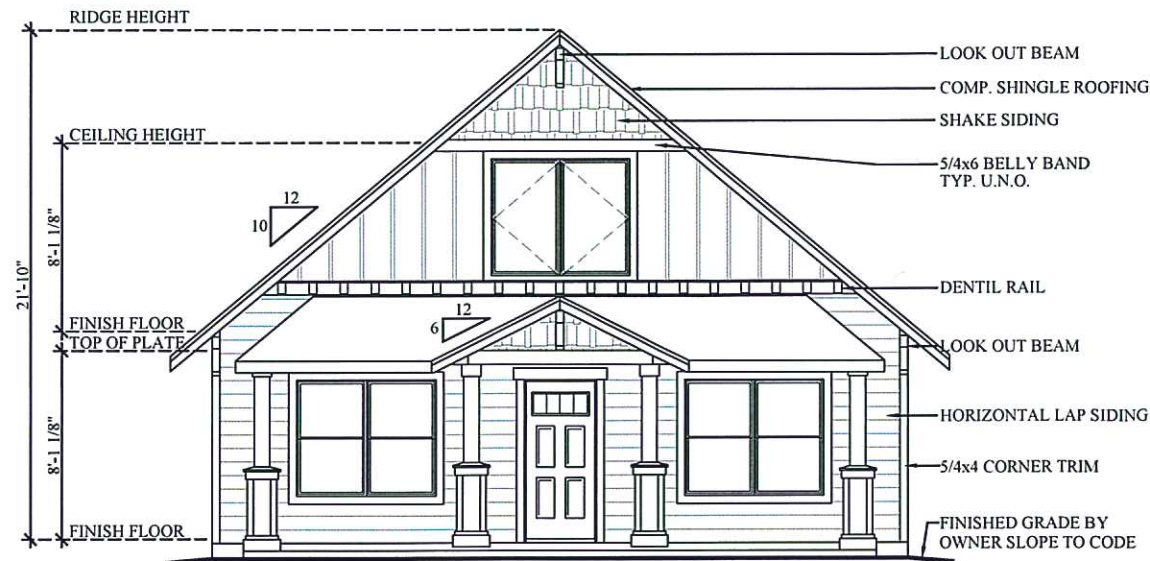


**PLOT PLAN**  
SCALE: 1" = 10'-0"

TAX LOT: 02400  
TBA FAIRWAY COURT  
BANDON, OR 97411  
COOS COUNTY

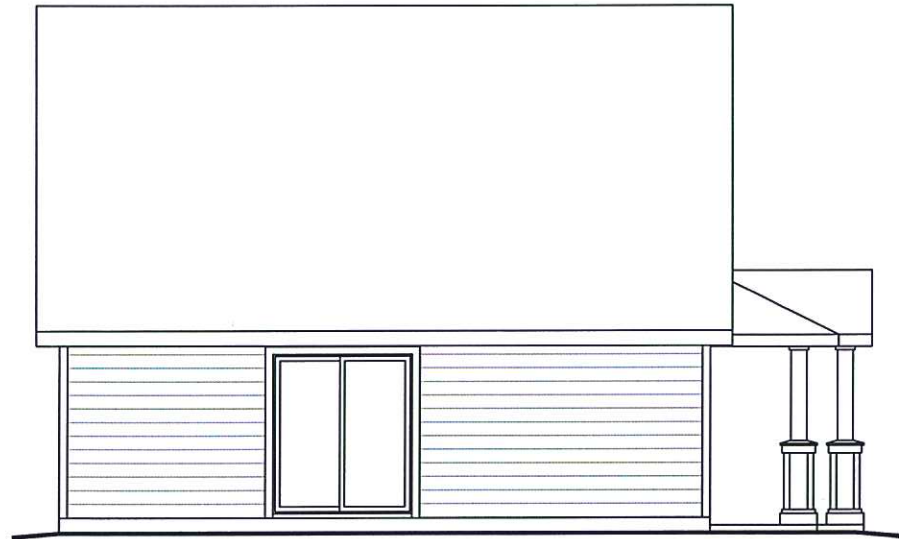
**DISCLAIMER:**  
PER SECTION 1 OF OWNER RESPONSIBILITIES FOR JOINT HOUSE BUILDING, ... THE OWNER WILL ESTABLISH THE LOCATION OF THE HOUSE ON THE PROPERTY BY PLACING STAKES AT ALL CORNERS OF THE HOUSE WITHIN THE EXCAVATION WHICH CONFORMS TO REQUIRED SETBACKS ... PARCEL DIMENSIONS HAVE BEEN PROVIDED BY CUSTOMER AND HAVE NOT BEEN VERIFIED BY ADAIR HOMES. DIMENSIONS FOR HOME PLACEMENT ARE ESTIMATED BASED ON PARCEL DIMENSIONS PROVIDED BY CUSTOMER.

<b>GODFREY</b>	PLAN ORIENTATION:	STANDARD	2017 ORSC	PAGE: <b>PP</b>
	GARAGE CONFIGURATION:	NONE		
<b>ADAIR HOMES INC.</b> © COPYRIGHT 2021	PLOT PLAN		SCALE: DATE: 4/15/2021 DRAFTED BY: NF REV:	
	ADAIR HOMES, INC 1311 SE CARDINAL COURT SUITE 100 VANCOUVER, WA 98683			

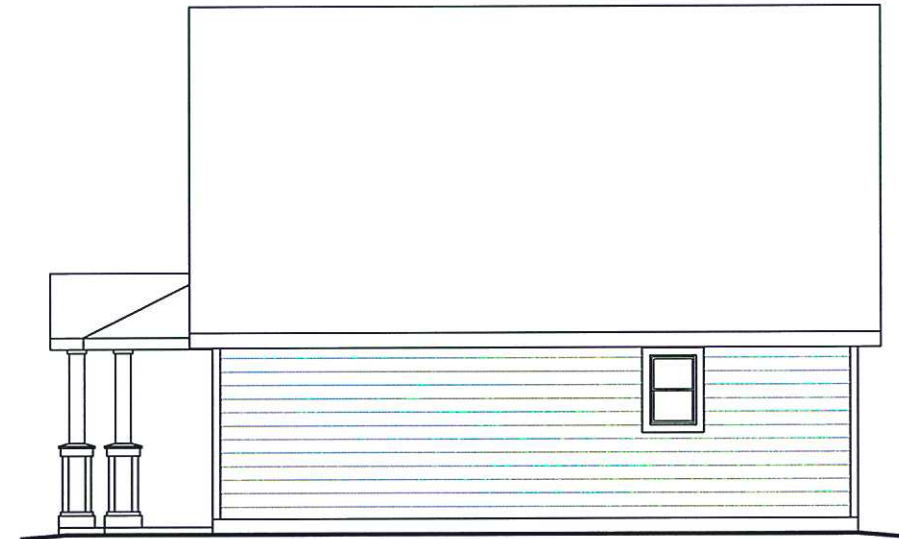


**FRONT ELEVATION**  
1/8" = 1'-0"

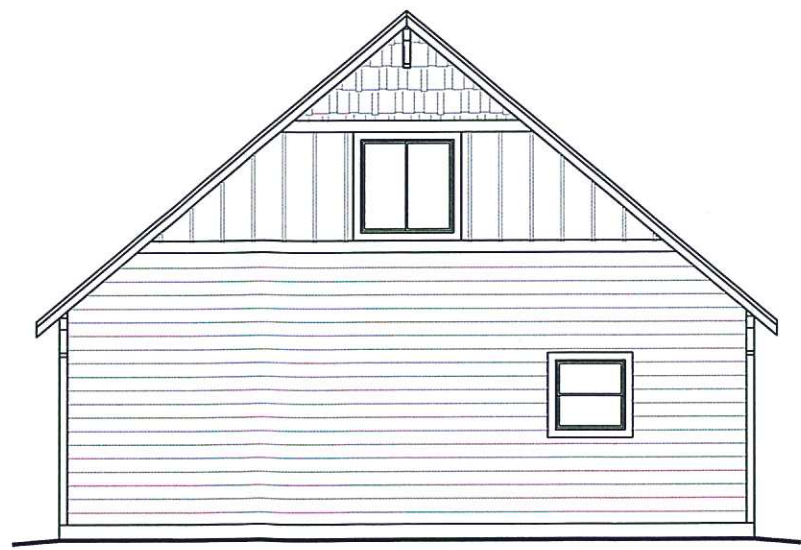
**NOTE:**  
EXTERIOR ELEVATIONS ARE DRAWN W/  
ESTIMATED GRADES. ONCE SITE  
CLEARING & EXCAVATION IS COMPLETE,  
SOME ADJUSTMENTS MAY BE NECESSARY.



**LEFT ELEVATION**  
1/8" = 1'-0"



**RIGHT ELEVATION**  
1/8" = 1'-0"



**REAR ELEVATION**  
1/8" = 1'-0"

**CORROSIVE ENVIRONMENT PKG.:**  
STAINLESS STEEL FLASHING &  
NAILS, PLASTIC ROOF VENTS &  
STAINLESS STEEL 200amp  
UNDERGROUND ELEC. METER BASE

**GODFREY - 1094**

2017 ORSC

GARAGE CONFIGURATION: NONE  
 PLAN ORIENTATION: STANDARD  
 IIMS MODEL CODE - JOB #: C05 - RO-30068  
**EXTERIOR ELEVATIONS**

  
**ADAIR HOMES INC.**  
 © COPYRIGHT 2021

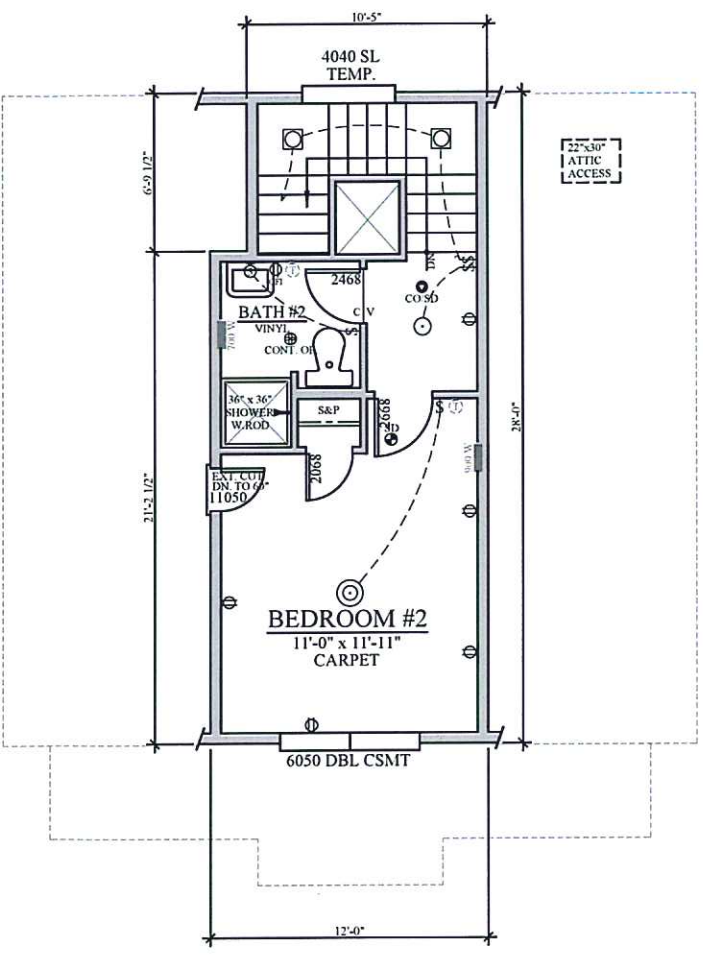
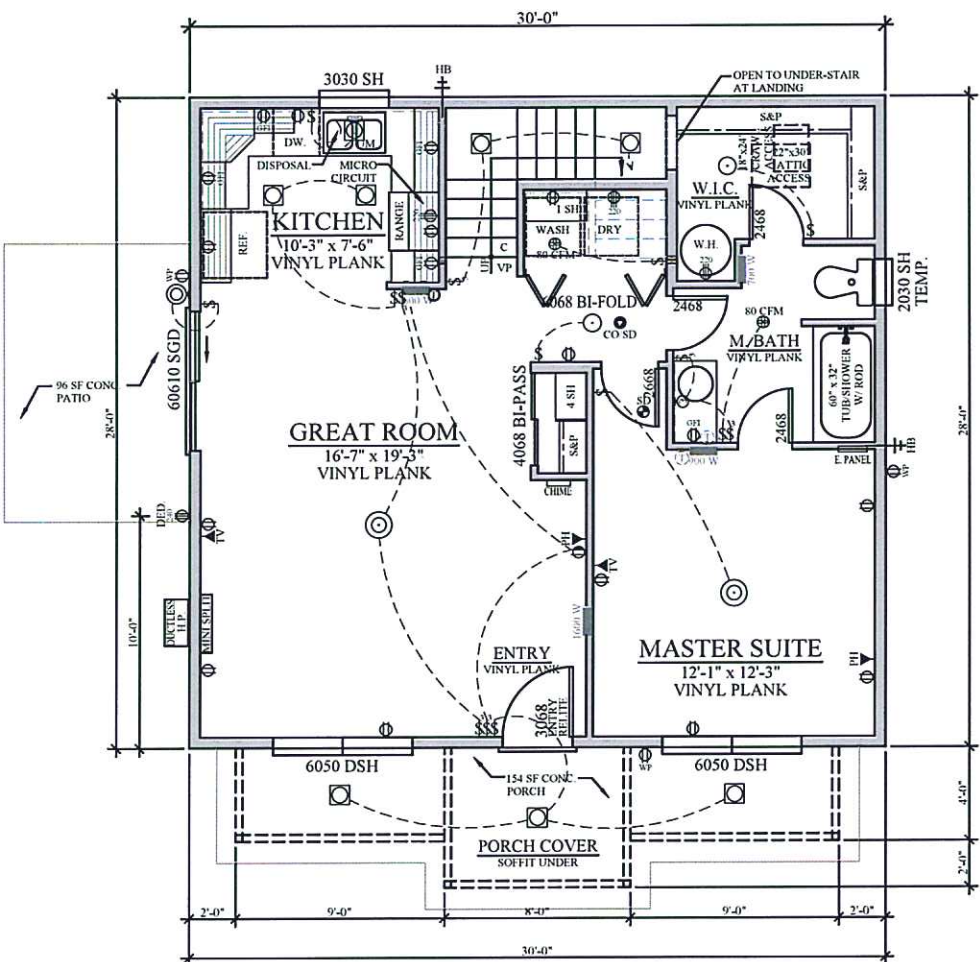
ADAIR HOMES, INC  
 1311 SE CARDINAL COURT  
 SUITE 100  
 VANCOUVER, WA 98683

SCALE: 1/8" = 1'-0"  
 DATE: 04/06/2021  
 DRAFTED BY: NF  
 REV:  
**A1**  
 PAGE:

### FLOOR PLAN NOTES

1) SEE NOTES SHEET (SHEET 'N') FOR GENERAL FLOOR PLAN NOTES.  
 2) FOR STRUCTURAL & LATERAL REQUIREMENTS SEE FRAMING PLANS & ALL "S" SHEETS.

ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
DUCTLESS HEAT PUMP HEAD	MINISPLD
CADET - 1600W	1600 W
CADET - 700W	700 W
CADET - 900W	900 W
CADET - 1600W - CEILING	1600 W
CADET - 700W - CEILING	700 W
CADET - 900W - CEILING	900 W
THERMOSTAT	⊖
FAN - CONTINUOUS OPERATING	CONT. OP.
FAN - 80 CFM	80 CFM
LIGHT - WALL MOUNT - EXT.	⊙
LIGHT - LARGE MUSHROOM	⊙
LIGHT - SMALL MUSHROOM	⊙
LIGHT - RECESSED CAN	⊙
LIGHT - W. M. - VANITY - 3B	⊙
OUTLET - CEILING GFI	⊖
OUTLET - 110	⊖
OUTLET - WATER PROOF	⊖
OUTLET - 220	⊖
OUTLET - GFI	⊖
OUTLET - HALF HOT	⊖
OUTLET - PHONE	⊖
OUTLET - TV	⊖
SMOKE DETECTOR	⊖
SMOKE/CO DETECTOR	⊖
SWITCH - 1 WAY	⊖
SWITCH - 3 WAY	⊖



**CORROSIVE ENVIRONMENT PKG.:**  
 STAINLESS STEEL FLASHING &  
 NAILS & STAINLESS STEEL 200amp  
 UNDERGROUND ELEC. METER BASE

## GODFREY - 1094

ADAIR HOMES INC.  
 © COPYRIGHT 2021

ADAIR HOMES, INC  
 1311 SE CARDINAL COURT  
 SUITE 100  
 VANCOUVER, WA 98683

2017 ORSC

GARAGE CONFIGURATION: NONE  
 PLAN ORIENTATION: STANDARD

### FLOOR PLANS

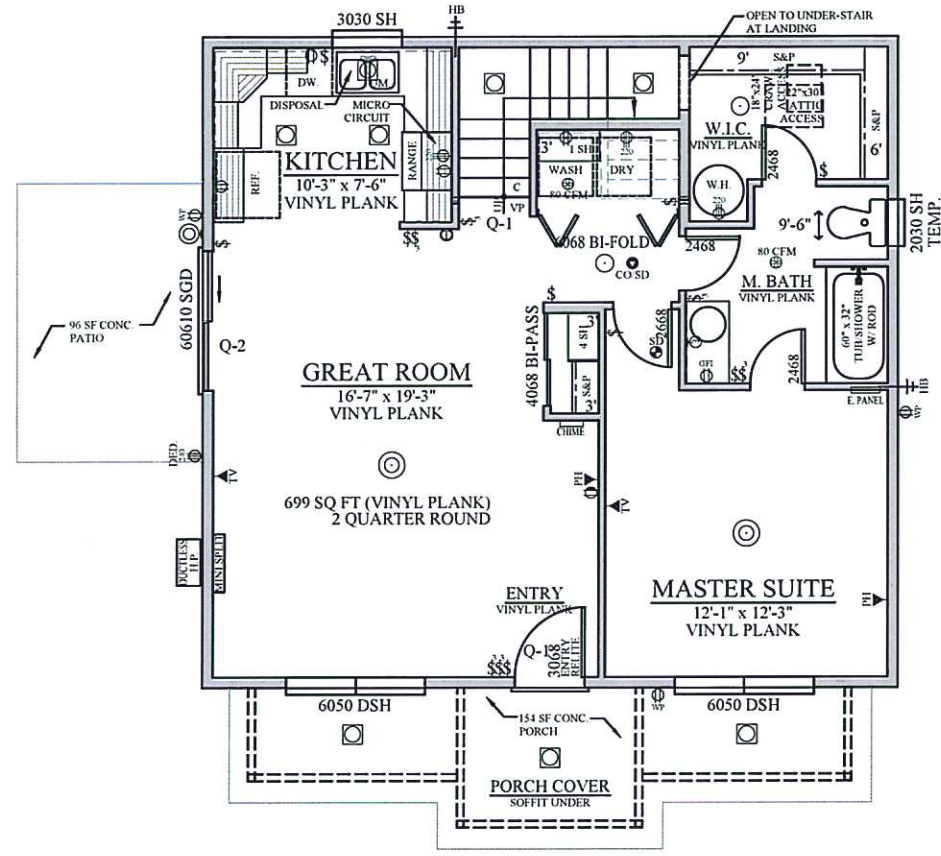
SCALE: 1/8" = 1'-0"  
 DATE: 04/06/2021  
 DRAFTED BY: NF  
 REV:

PAGE:

A3

IIMS MODEL CODE - JOB #:

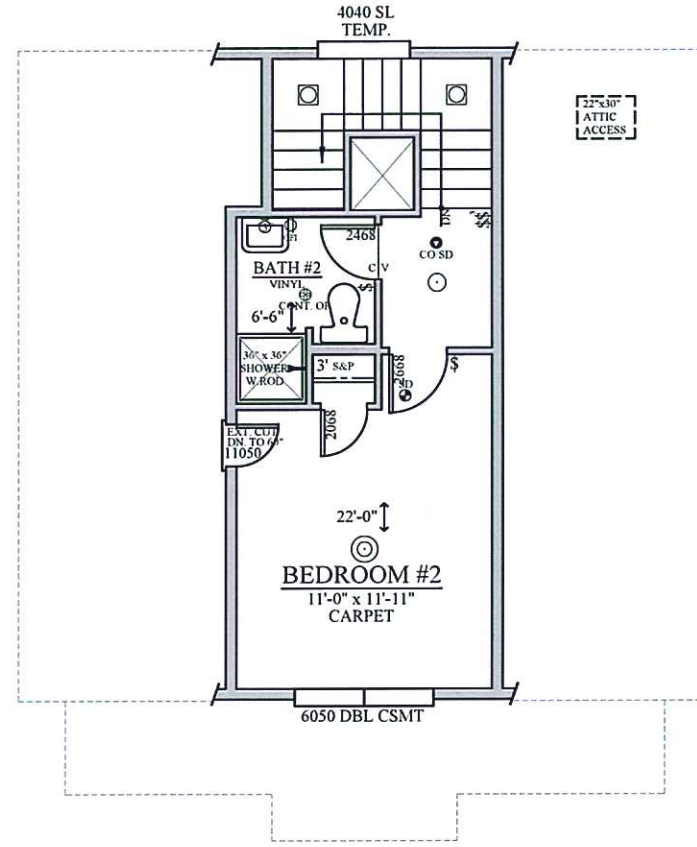
C05 - RO-30068



### MAIN FLOOR PLAN

840 SF

1/8" = 1'-0"



### UPPER FLOOR PLAN

254 SF

1/8" = 1'-0"



ADAIR HOMES INC.  
© COPYRIGHT 2021

ADAIR HOMES, INC  
1311 SE CARDINAL COURT  
SUITE 100  
VANCOUVER, WA 98683

## GODFREY - 1094

2017 ORSC

GARAGE CONFIGURATION:  
NONE

PLAN ORIENTATION:  
STANDARD

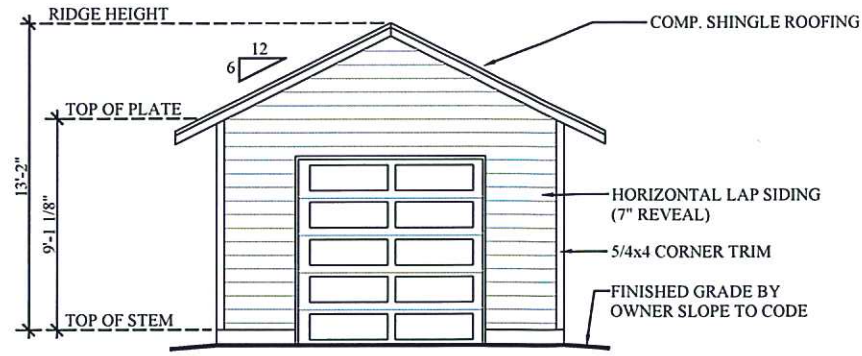
IIMS MODEL CODE - JOB #:  
C05 - RO-30068

### IPS FLOORING LAYOUT

SCALE: 1/8" = 1'-0"  
DATE: 04/06/2021  
DRAFTED BY: NF  
REV:

PAGE:

F

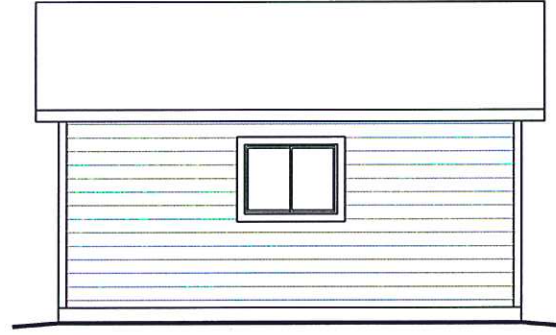


**FRONT ELEVATION**  
1/8" = 1'-0"

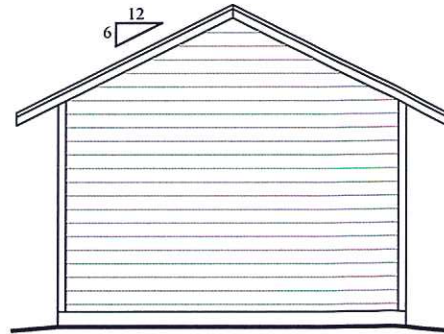
**NOTE:**  
EXTERIOR ELEVATIONS ARE DRAWN W/  
ESTIMATED GRADES. ONCE SITE  
CLEARING & EXCAVATION IS COMPLETE,  
SOME ADJUSTMENTS MAY BE NECESSARY.



**LEFT ELEVATION**  
1/8" = 1'-0"



**RIGHT ELEVATION**  
1/8" = 1'-0"



**REAR ELEVATION**  
1/8" = 1'-0"

**CORROSIVE ENVIRONMENT PKG.:**  
STAINLESS STEEL FLASHING &  
NAILS, PLASTIC ROOF VENTS &  
STAINLESS STEEL 200amp  
UNDERGROUND ELEC. METER BASE



ADAIR HOMES, INC  
1311 SE CARDINAL COURT  
SUITE 100  
VANCOUVER, WA 98683

**GODFREY - 2 CAR GARAGE**

GARAGE CONFIGURATION: GARAGE  
PLAN ORIENTATION: STANDARD  
JOB NUMBER: RO-30068

**EXTERIOR ELEVATIONS**

2017 ORSC

SCALE: 1/8" = 1'-0"  
DATE: 04/06/2021  
DRAFTED BY: NF  
REV:



## ROOF PLAN NOTES

- 1) PROVIDE PROTECTIVE FLASHING FOR ALL ROOF PENETRATIONS.
- 2) REQUIRED VENTILATION OPENINGS SHALL BE COVERED W/ BUG/INSECT SCREENS.
- 3) REQUIRED VENTILATION OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF SNOW AND/OR RAIN.
- 4) INSTALL INSULATION SO THAT THE FREE FLOW OF AIR WITHIN THE ATTIC IS NOT BLOCKED.
- 5) COMPOSITION SHINGLE ROOFING TO BE INSTALLED OVER 15# ROOFING FELT PER MANUFACTURER'S SPECIFICATIONS.
- 6) SEE PLAN FOR ROOF PITCH.
- 7) GABLE END OVERHANGS ARE 12", EAVES ARE 2'-0" TYPICAL UNLESS NOTED OTHERWISE.
- 8) PORCH & PATIO COVERS TO BE SOFFITED W/ PLAIN PANEL SIDING, U.N.O., VENT THE ENCLOSED SPACE PER CODE.
- 9) PROVIDE & INSTALL RAIN GUTTERS & DOWNSPOUTS AS REQUIRED PER BUILD LOCATION.

## VENTILATION

- 1) THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF THE SPACE VENTILATED, PROVIDED THAT AT LEAST 40% BUT NOT MORE THAN 50% OF THE REQUIRED AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE BEING VENTILATED. THE REMAINING BALANCE OF THE REQUIRED VENTING WILL BE PROVIDED BY EAVE VENTS AND/OR LOW ROOF VENTS.
- 2) ALTERNATIVE METHOD: VENTILATION SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED.





### VENTS:

- 1) 10"x10" ROOF VENTS ARE BASED ON 51 SQ IN NET FREE VENTILATION AREA PER VENT.
- 2) EAVE VENTS ARE BASED ON 9 SQ IN NET FREE VENTILATION AREA PER VENT.

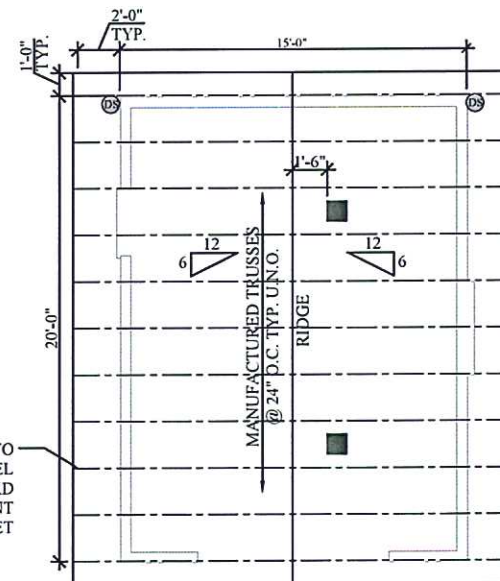
### MAIN ROOF:

AREA	43,200 SQ IN
REQUIRED VENTING	144 SQ IN
ROOF VENTS	102 SQ IN (2)
EAVE VENTS	108 SQ IN (12)

## LEGEND

-  DOWNSPOUT ABOVE TO ROOF BELOW
-  DOWNSPOUT TO RAIN DRAIN
-  10"x10" STANDARD ATTIC SPACE ROOF VENT
-  8"x8" EXHAUST PORT

GARAGE TRUSSES TO HAVE STANDARD HEEL W/ VENTED BIRD BLOCKS. SEE VENT CALCS. THIS SHEET







## ROOF PLAN

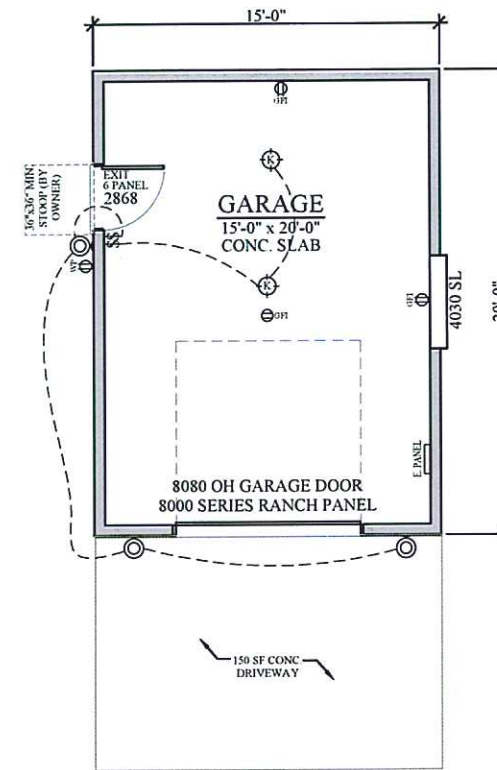
1/8" = 1'-0"

## FLOOR PLAN NOTES

- 1) SEE NOTES SHEET (SHEET 'N') FOR GENERAL FLOOR PLAN NOTES.
- 2) FOR STRUCTURAL & LATERAL REQUIREMENTS SEE FRAMING PLANS & ALL "S" SHEETS.

**CORROSIVE ENVIRONMENT PKG.:**  
**STAINLESS STEEL FLASHING & NAILS & STAINLESS STEEL 200amp UNDERGROUND ELEC. METER BASE**

ELECTRICAL LEGEND	
ELECTRICAL	SYMBOL
LIGHT - WALL MOUNT - EXT.	
LIGHT - KEYLESS	
OUTLET - CEILING GFI	
OUTLET - WATER PROOF	
OUTLET - GFI	
SWITCH - 1 WAY	



## FLOOR PLAN

300 SF 1/8" = 1'-0"

2017 ORSC

**GODFREY - 2 CAR GARAGE**

ADAIR HOMES INC.  
 © COPYRIGHT 2021

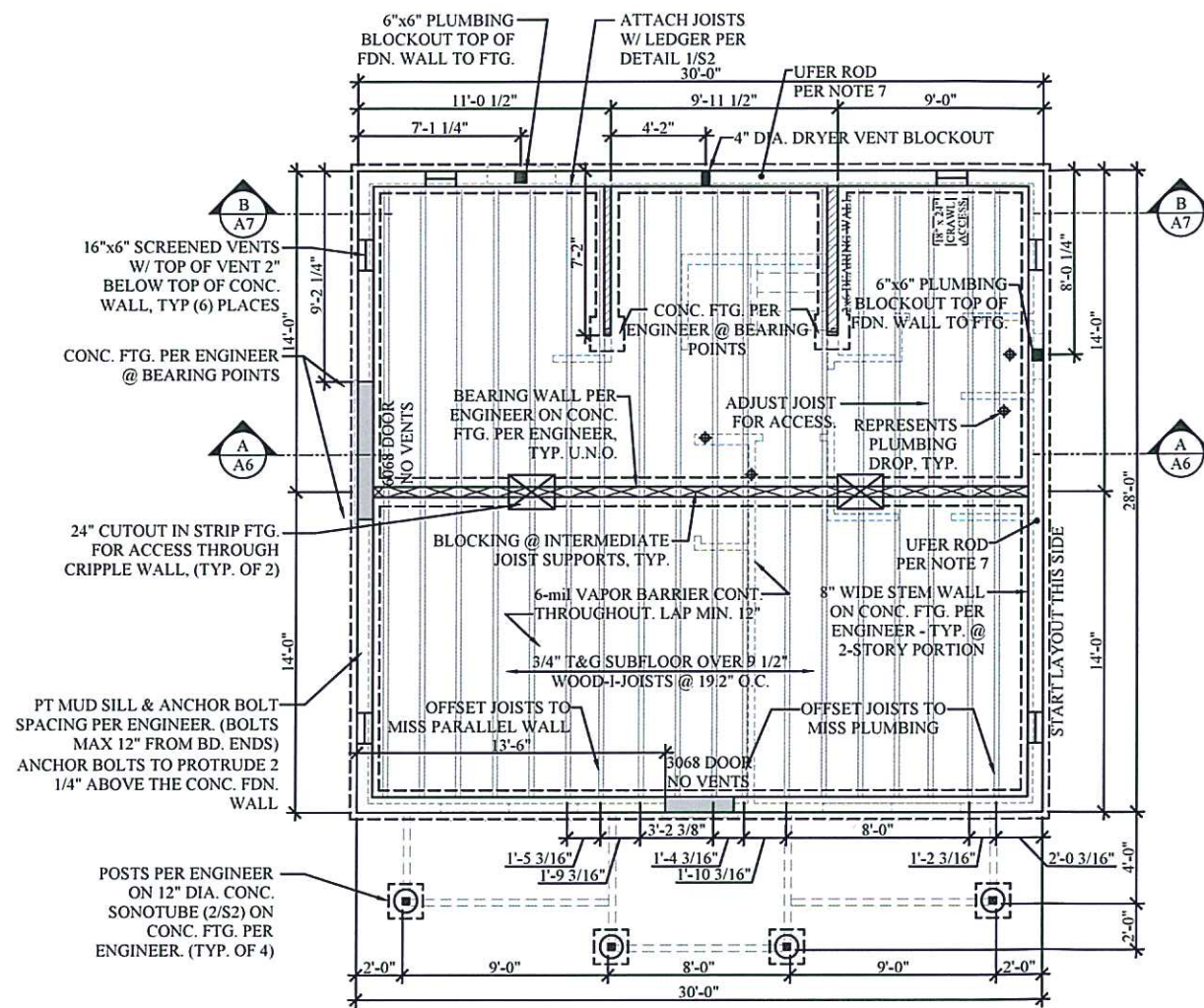
PAGE: **A2**  
 SCALE: 1/8" = 1'-0"  
 DATE: 04/06/2021  
 DRAFTED BY: NF  
 REV:

JOB NUMBER: **RO-30068**  
 PLAN ORIENTATION: **STANDARD**

ADAIR HOMES, INC  
 1311 SE CARDINAL COURT  
 SUITE 100  
 VANCOUVER, WA 98683

**ROOF & FLOOR PLANS**

**CORROSIVE ENVIRONMENT PKG.:**  
**STAINLESS STEEL FLASHING & NAILS & PLASTIC ROOF VENTS**



# FOUNDATION PLAN

1/8" = 1'-0"

## FDN PLAN NOTES

- SEE NOTES SHEET (SHEET 'N') AND/OR ENGINEER'S "S" SHEETS FOR GENERAL FOUNDATION PLAN NOTES & REQUIREMENTS.
- = BEARING WALLS THAT ARE SUPPORTED ON CONTINUOUS FTGS. & REQUIRE ANCHOR BOLT CONNECTION (PLATE TO FOOTING). ALL OTHER CRIPPLE WALLS ARE TO BE ATTACHED TO FTG. W/ POWDER ACTUATED FASTENERS @ MIN. 32" O.C. WHERE ANCHOR BOLTS DO NOT OCCUR.
- 2" DIAMETER WATER LINE BLOCKOUT & 5" DIAMETER SEWER LINE BLOCKOUT LOCATION(S) TO BE IDENTIFIED ON SITE IF REQUIRED.
- = VENTS PROHIBITED IN DOOR SITES.
- CRIPPLE WALLS W/ A STUD HEIGHT LESS THAN 14" SHALL BE CONTINUOUSLY SHEATHED ON ONE SIDE W/ WOOD STRUCTURAL PANELS FASTENED TO BOTH TOP & BOTTOM PLATES.
- ALL POSTS AS WELL AS ANY BEARING WALLS PARALLEL TO THE FLOOR JOISTS ARE TO EXTEND TO DECKING.
- PROVIDE (2) UFER GROUNDS TIED INTO REBAR GRID. (1) AT PANEL LOCATION & (1) AT MIN. 20 FT. SEPARATION.

## VENTILATION

1) THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/300 OF THE AREA OF THE CRAWLSPACE WITH THE USE OF A CLASS 1 VAPOR RETARDER MATERIAL. THERE SHALL BE ONE VENT MIN. WITHIN 3' OF EACH BUILDING CORNER.

FOUNDATION VENTS ARE BASED ON A SCREENED 16" x 6" VENT WITH A NET-FREE VENTILATING AREA OF 72 SQ IN PER VENT.

CRAWLSPACE:	
AREA	110,080 SQ IN
REQUIRED VENTING	367 SQ IN
VENTS REQUIRED	6 VENTS
VENTS PROVIDED	6 VENTS

## JOIST LAYOUT NOTES

- = REPRESENTS FULL DEPTH BLOCKING AT JOIST ENDS (WHEN JOISTS END AT INTERIOR BEARING WALLS) AND INTERMEDIATE JOIST SUPPORTS.
- FOR ADDITIONAL NOTES AND INFORMATION SEE FLOOR JOIST NOTES ON SHEET 'N'.
- REFER TO MANUFACTURER'S SPECIFICATIONS AND DRAWINGS FOR INSTALLATION.

## JOIST LAYOUT FOR 19.2" SPACING

1 - 19 3/16"	(1'-7 3/16")	9 - 172 13/16"	(14'-4 13/16")
2 - 38 3/8"	(3'-2 3/8")	16'-10 - 192"	(16'-0")
3 - 57 5/8"	(4'-9 5/8")	11 - 211 3/16"	(17'-7 3/16")
4 - 76 13/16"	(6'-4 13/16")	12 - 230 3/8"	(19'-2 3/8")
8'-5 - 96"	(8'-0")	13 - 249 5/8"	(20'-9 5/8")
6 - 115 3/16"	(9'-7 3/16")	14 - 268 13/16"	(22'-4 13/16")
7 - 134 3/8"	(11'-2 3/8")	24'-15 - 288"	(24'-0")
8 - 153 5/8"	(12'-9 5/8")		

## STRUCTURAL NOTICE:

- BEARING MEMBER SIZES NOTED ON STRUCTURAL ENGINEERING "S" SHEETS ARE TO SUPERCEDE ANY DEPICTED ON THE ARCH. SHEETS.
- PROVIDE SINGLE OR MULTIPLE STUDS UNDER BEAMS, HEADERS, & GIRDER TRUSSES TO MATCH WIDTH OF SUPPORTED MEMBER UNLESS NOTED OTHERWISE ON ENGINEER'S "S" SHEETS.
- ALL WINDOW & DOOR OPENINGS UNDER 6'-0" WIDE ARE TO HAVE A SINGLE 2x TRIMMER U.N.O. BY THE ENGINEER.
- PROVIDE DBL 2x TRIMMERS UNDER ALL WINDOW & DOOR OPENINGS 6'-0" OR GREATER.

## THIS PLAN IS FULLY ENGINEERED

REFER TO ENGINEER'S 'S' SHEETS FOR ADDITIONAL STRUCTURAL, SHEARWALL & HOLDOWN INFORMATION

MICHAEL K. BROWN, S.E.  
 REGISTERED PROFESSIONAL STRUCTURAL ENGINEER  
 5346 E.BRANCHWOOD DR., BOISE, ID 83716  
 (208)850-7542 mike.brown@core-engineering.net



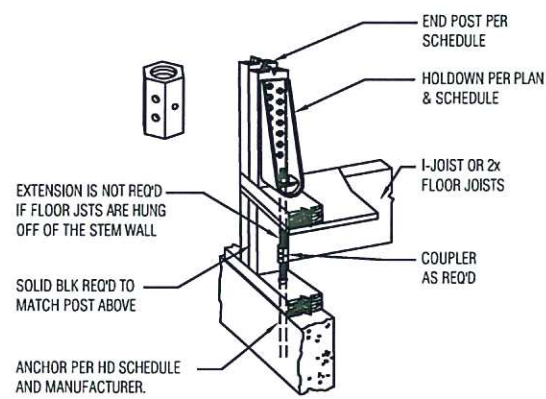
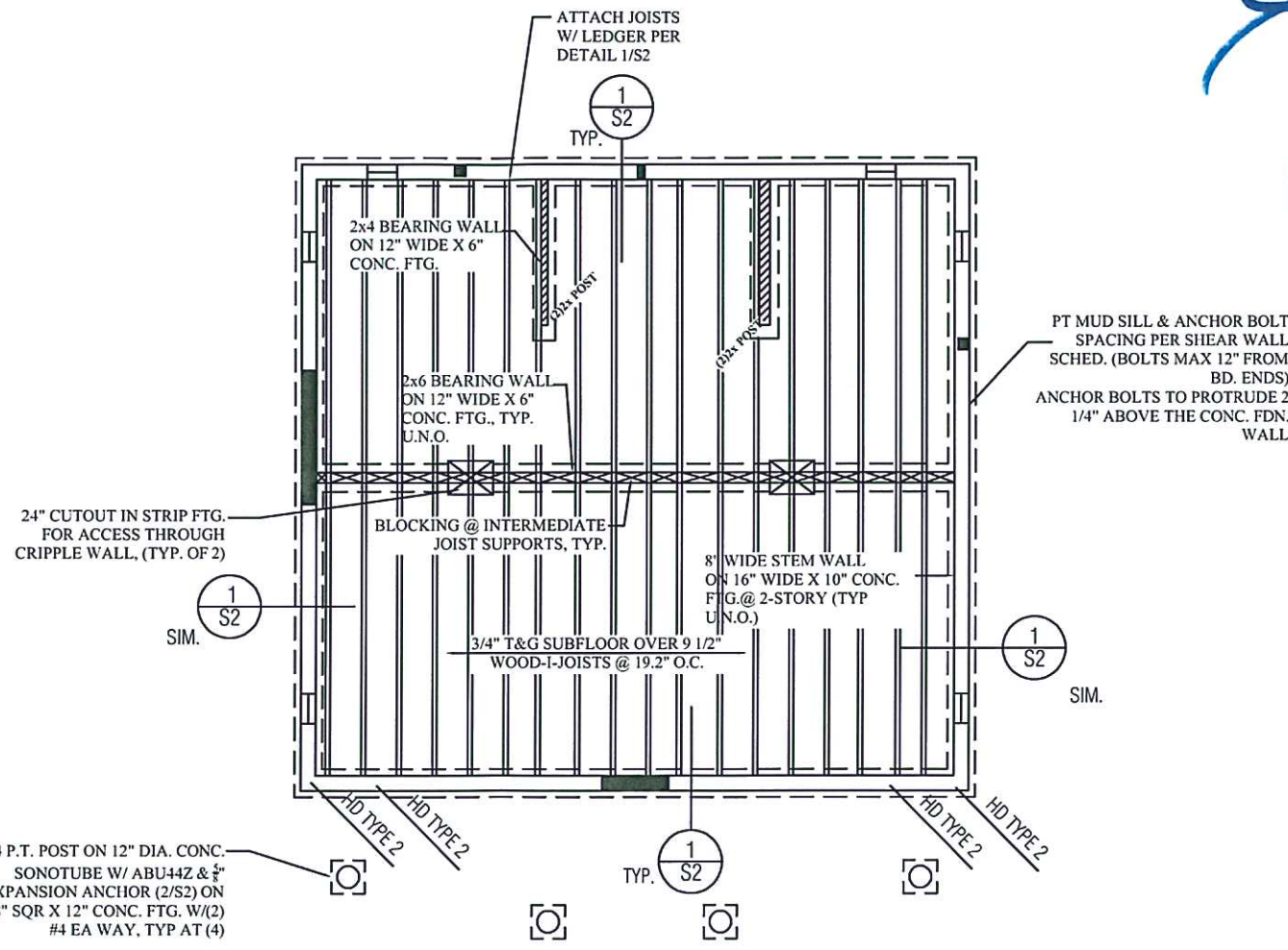
EXPIRATION DATE: 12-31-2021

GODFREY RESIDENCE  
 FAIRWAY COURT, BANDON, OR 97411

1094 STD  
 AH21-063

FOUNDATION PLAN

S1



2 TYPICAL HOLDOWN DETAIL  
 SCALE: N.T.S.

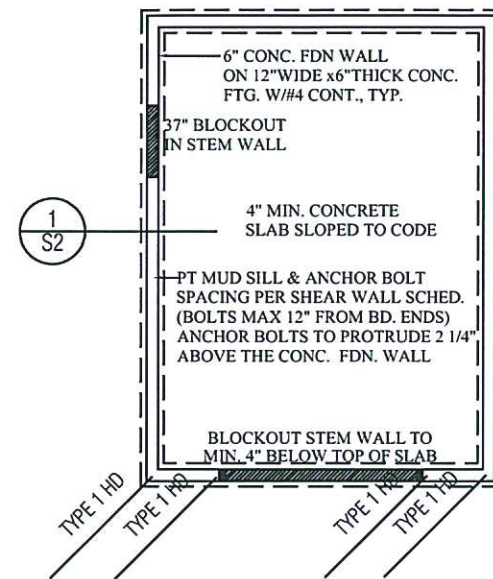
SEE SHEET S0.2 FOR SHEAR WALL AND HOLD DOWN SCHEDULE

SEE SHEET S1.1 FOR SHEAR WALL LOCATIONS WITH ANCHOR BOLT SPACING REQUIREMENTS

FOUNDATION PLAN  
 1/8" = 1'-0"

MICHAEL K. BROWN, S.E.  
 REGISTERED PROFESSIONAL STRUCTURAL ENGINEER

5346 E. BRANCHWOOD DR., BOISE, ID 83716  
 (208)850-7542 mike.brown@core-engineering.net



SEE SHEET S1.1G FOR SHEAR WALL  
 LOCATIONS WITH ANCHOR BOLT  
 SPACING REQUIREMENTS

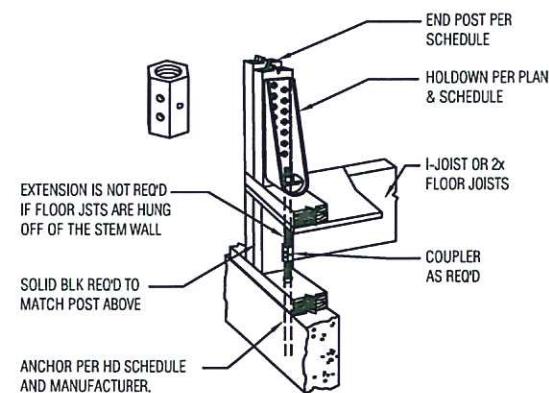
# GARAGE FOUNDATION PLAN

1/8" = 1'-0"

STRUCTURAL  
 REGISTERED PROFESSIONAL  
 ENGINEER  
 MICHAEL K. BROWN  
 OREGON  
 SEPT. 10, 2012  
 EXPIRATION DATE: 12-31-2021

HOLDOWN SCHEDULE						
MARK		Boundary	Tension of DF	Tension of HF	Anchor	Anchor
NUMBER	HOLDOWN	Studs	Allowable Lbs	Allowable Lbs	Mono Pour	Two Pour
1	HDU2-SDS2.5 OR PHD2-SDS3	(2)2x	3075	2215	SB 5/8" X 24	SB 5/8" X 24
2	HDU4-SDS2.5 OR PHD5-SDS3	(2)2x	4545	3270	SB 5/8" X 24	SB 5/8" X 24
3	HDU8-SDS2.5	(3)2x	7870	5665	SSTB28L	7/8" DIA. X 24" MIN EMBED INTO CONC. 1/2" DIA. X 24" MIN EMBED INTO CONC. 1/2" DIA. X 24" MIN EMBED INTO CONC. 1/2" DIA. X 24" MIN EMBED INTO CONC.
4	HDU11-SDS2.5	(1)6x	9535	6865	1" DIA. X 42" A36 THREADED ROD w/ HEAVY SD. NUT AND WASHER @ BOT.	1" DIA. X 42" A36 THREADED ROD w/ HEAVY SD. NUT AND WASHER @ BOT.
8	HHDI14-SDS2.5	(1)6x	13710	10745	1" DIA. X 42" A36 THREADED ROD w/ HEAVY SD. NUT AND WASHER @ BOT. PROVIDE 24" EMBED INTO CONCT FTG.	1" DIA. X 42" A36 THREADED ROD w/ HEAVY SD. NUT AND WASHER @ BOT. PROVIDE 24" EMBED INTO CONCT FTG.
5	MSTC28	(2)2x	3000	2590	N/A	N/A
6	MSTC40	(2)2x	4335	3745	N/A	N/A
7	MSTC66	(2)2x	5660	5660	N/A	N/A

Notes:  
 1. Install all holdowns per manufacturer specification per latest Simpson Strong Tie catalog.  
 2. Match studs on schedule for walls below on all wall to wall holdowns.  
 3. (Multiple)2x studs nailed together with (2) rows of 16d @ 3" o.c. staggered.  
 4. Refer to shearwall schedule and typical shearwall details for wall locations and configurations.  
 5. Refer to Simpson catalog for minimum embed of anchors into concrete.



2 TYPICAL HOLDOWN DETAIL  
 SCALE: N.T.S.

GODFREY GARAGE  
 FAIRWAY COURT, BANDON, OR 97411

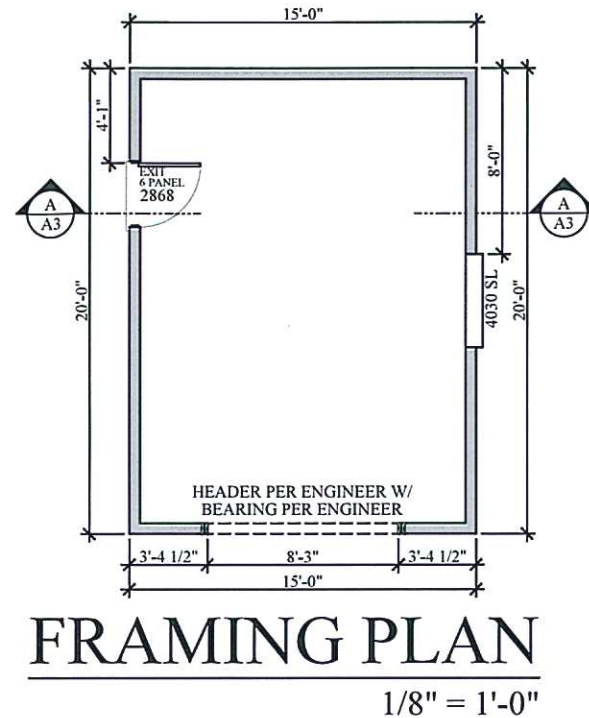
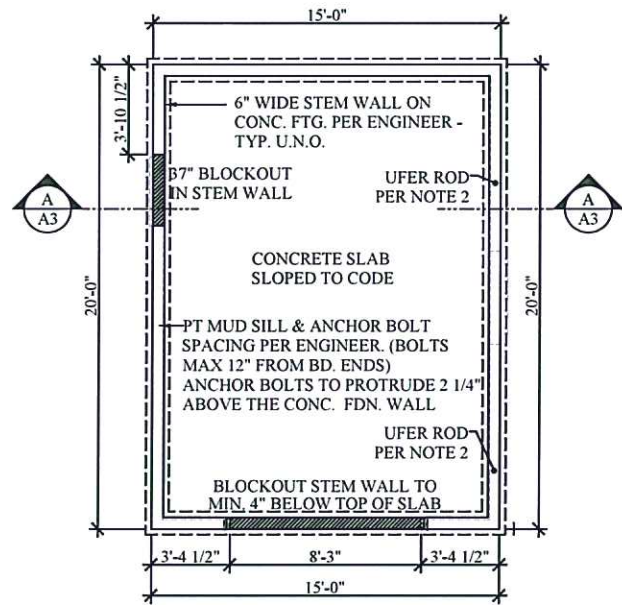
GARAGE  
 AH21-063

GARAGE FOUNDATION  
 PLAN

S1.0G

### FDN PLAN NOTES

- 1) SEE NOTES SHEET (SHEET 'N') AND/OR ENGINEER'S "S" SHEETS FOR GENERAL FOUNDATION PLAN NOTES & REQUIREMENTS.
- 2) [Hatched Box] = BEARING WALLS THAT ARE SUPPORTED ON CONTINUOUS FTGS. & REQUIRE ANCHOR BOLT CONNECTION (PLATE TO FOOTING). ALL OTHER CRIPPLE WALLS ARE TO BE ATTACHED TO FTG. W/ POWDER ACTUATED FASTENERS @ MIN. 32" O.C. WHERE ANCHOR BOLTS DO NOT OCCUR.
- 3) 2" DIAMETER WATER LINE BLOCKOUT & 5" DIAMETER SEWER LINE BLOCKOUT LOCATION(S) TO BE IDENTIFIED ON SITE IF REQUIRED.
- 4) [Dashed Box] = VENTS PROHIBITED IN DOOR SITES.
- 5) CRIPPLE WALLS W/ A STUD HEIGHT LESS THAN 14" SHALL BE CONTINUOUSLY SHEATHED ON ONE SIDE W/ WOOD STRUCTURAL PANELS FASTENED TO BOTH TOP & BOTTOM PLATES.
- 6) ALL POSTS AS WELL AS ANY BEARING WALLS PARALLEL TO THE FLOOR JOISTS ARE TO EXTEND TO DECKING.
- 7) PROVIDE (2) UFER GROUNDS TIED INTO REBAR GRID. (1) AT PANEL LOCATION & (1) AT MIN. 20 FT. SEPARATION.



### FRAMING PLAN NOTES

- 1) BEARING MEMBER SIZES NOTED ON STRUCTURAL ENGINEERING "S" SHEETS ARE TO SUPERCEDE ANY DEPICTED ON THE ARCHITECTURAL SHEETS.
- 2) PROVIDE SINGLE OR MULTIPLE STUDS UNDER BEAMS, HEADERS & GIRDER TRUSSES TO MATCH WIDTH OF SUPPORTED MEMBER UNLESS NOTED OTHERWISE ON ENGINEER'S "S" SHEETS..
- 3) ALL WINDOW & DOOR OPENINGS UNDER 6'-0" WIDE ARE TO HAVE A SINLE 2x TRIMER UNLESS NOTED OTHERWISE BY THE ENGINEER.
- 4) PROVIDE DOUBLE 2x TRIMMERS UNDER ALL WINDOW & DOOR OPENINGS 6'-0" OR GREATER.

### INT. & EXT. SWING DR. FRAMING

- 1) ROUGH OPENING **WIDTH** TO BE THE **DOOR SIZE +2"** UNLESS NOTED OTHERWISE ON PLAN OR BY MANUFACTURER'S SPECIFICATIONS.
- 2) ROUGH OPENING **HEIGHT** TO BE **82 5/8"** FOR TYP. 6'-8" DOOR, U.N.O. PER PLAN OR MANUFACTURER'S SPECS.
- 3) ROUGH OPENING **HEIGHT** TO BE **98 5/8"** FOR TYP. 8'-0" DOOR, U.N.O. PER PLAN OR MANUFACTURER'S SPECS.

### WINDOW FRAMING NOTES

TYPICAL HEADER HEIGHTS TO BE AS FOLLOWS U.N.O. ON PLAN:

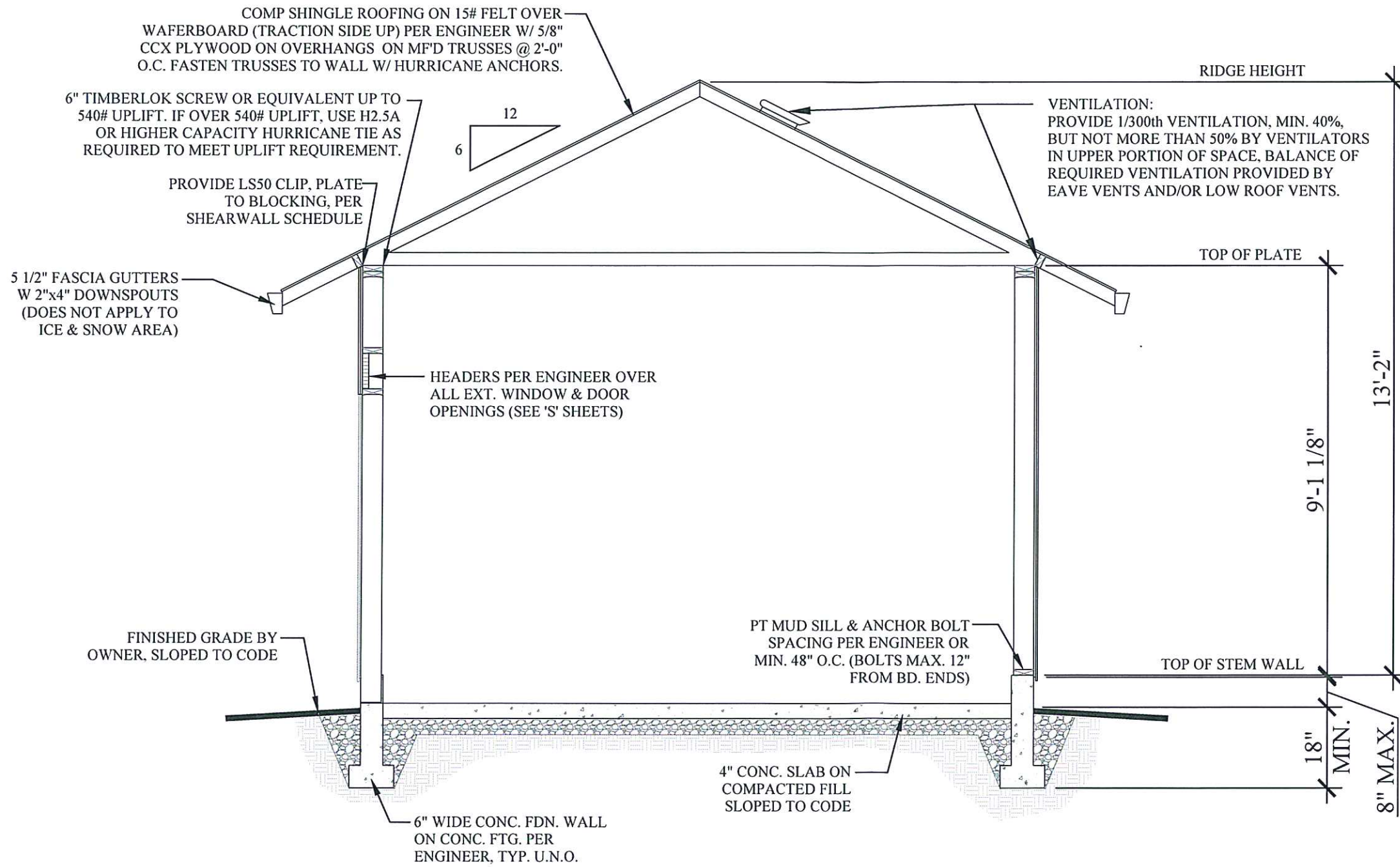
MAIN FLOOR - 8'-1 1/8" PLATE: 6'-11 1/8"  
 MAIN FLOOR - 9'-1 1/8" PLATE: 7'-11 1/8"  
 UPPER FLOOR - 8'-1 1/8" PLATE: 7'-1 3/8"

**STRUCTURAL NOTICE:**

1. BEARING MEMBER SIZES NOTED ON STRUCTURAL ENGINEERING "S" SHEETS ARE TO SUPERCEDE ANY DEPICTED ON THE ARCH. SHEETS.
2. PROVIDE SINGLE OR MULTIPLE STUDS UNDER BEAMS, HEADERS, & GIRDER TRUSSES TO MATCH WIDTH OF SUPPORTED MEMBER UNLESS NOTED OTHERWISE ON ENGINEER'S "S" SHEETS.
3. ALL WINDOW & DOOR OPENINGS UNDER 6'-0" WIDE ARE TO HAVE A SINGLE 2x TRIMEER U.N.O. BY THE ENGINEER.
4. PROVIDE DBL 2x TRIMMERS UNDER ALL WINDOW & DOOR OPENINGS 6'-0" OR GREATER.

**THIS PLAN IS FULLY ENGINEERED**  
 REFER TO ENGINEER'S 'S' SHEETS FOR ADDITIONAL STRUCTURAL, SHEARWALL & HOLDOWN INFORMATION

ADAIR HOMES INC. © COPYRIGHT 2021	GODFREY - 2 CAR GARAGE		2017 ORSC
	GARAGE CONFIGURATION: GARAGE	PLAN ORIENTATION: STANDARD	JOB NUMBER: RO-30068
FOUNDATION & FRAMING PLANS			
ADAIR HOMES, INC 1311 SE CARDINAL COURT SUITE 100 VANCOUVER, WA 98683		SCALE: 1/8" = 1'-0" DATE: 04/06/2021 DRAFTED BY: NF REV:	PAGE: A3



# SECTION A

3/8" = 1'-0"



ADAIR HOMES, INC.  
© COPYRIGHT 2021

ADAIR HOMES, INC  
1311 SE CARDINAL COURT  
SUITE 100  
VANCOUVER, WA 98683

## GODFREY - 2 CAR GARAGE

GARAGE CONFIGURATION:  
GARAGE

JOB NUMBER:  
RO-30068

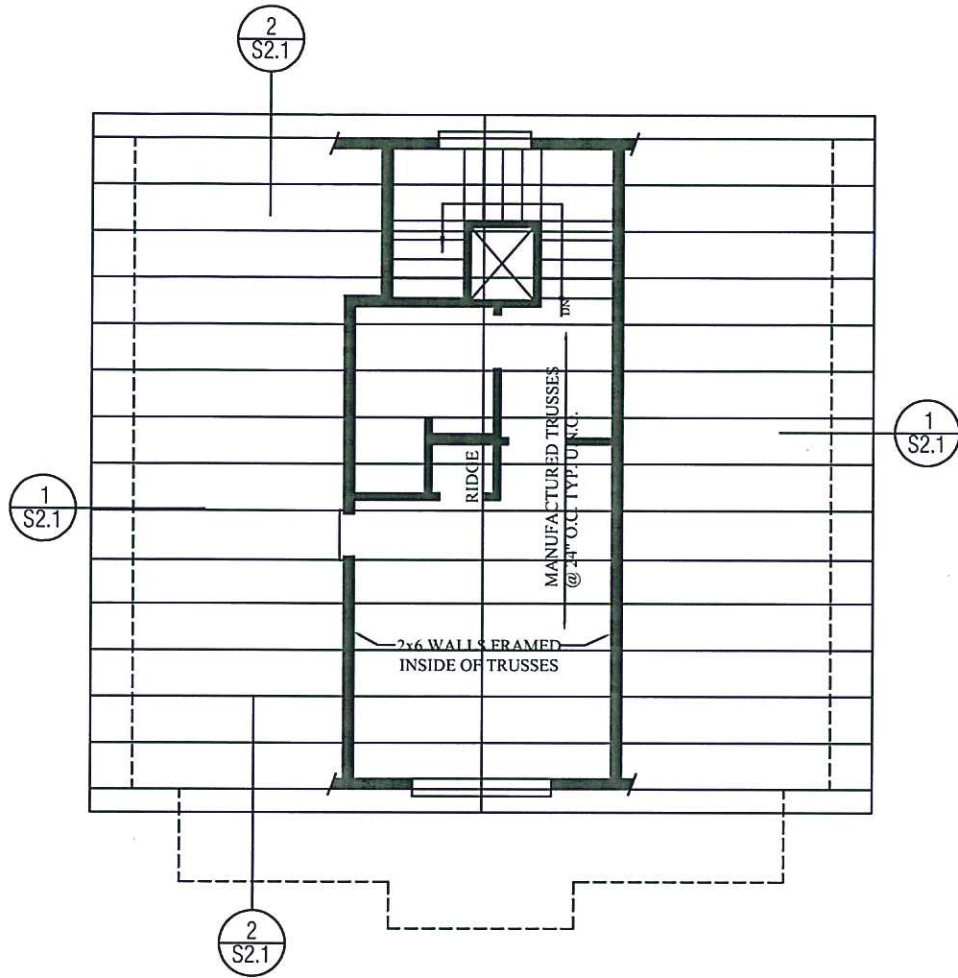
PLAN ORIENTATION:  
STANDARD

### BUILDING SECTION A

2017 ORSC

SCALE: 3/16" = 1'-0"  
DATE: 04/06/2021  
DRAFTED BY: NF  
REV:

PAGE:  
A4



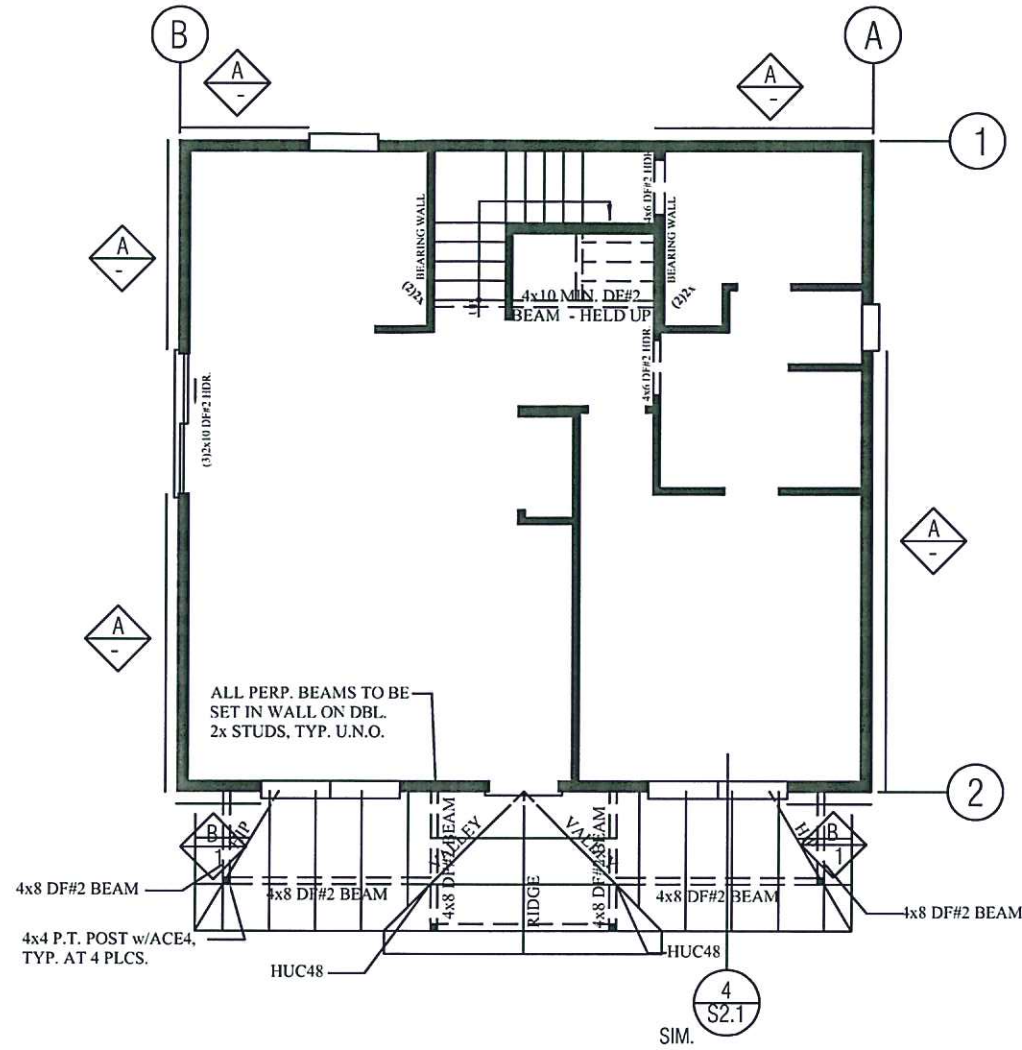
**ROOF FRAMING PLAN**

1/8" = 1'-0"

SEE SHEET S0.2 FOR SHEAR WALL AND HOLD DOWN SCHEDULE

ROOF SHEATHING TO BE 7/16" (MIN) 24/16 MIN SPAN RATING SHEATHING CONTINUOUS OVER 2 OR MORE SPANS. STAGGER PANEL ENDS & FASTEN W/ 8D AT 6" O.C. ALL SUPPORTED EDGES AND 12" O.C. FIELD.

ALL HEADERS TO BE 2x8 DF#2 OR BETTER, U.N.O.



**2ND FLOOR/ LOW ROOF FRAMING PLAN**

1/8" = 1'-0"

ALL HEADERS TO BE 2x10 DF#2 OR BETTER, U.N.O

SEE SHEET S0.2 FOR SHEAR WALL AND HOLD DOWN SCHEDULE

MICHAEL K. BROWN, S.E.  
REGISTERED PROFESSIONAL STRUCTURAL ENGINEER  
5346 E. BRANCHWOOD DR., BOISE, ID 83716  
(208)880-7542 mike.brown@cpse-engineering.net



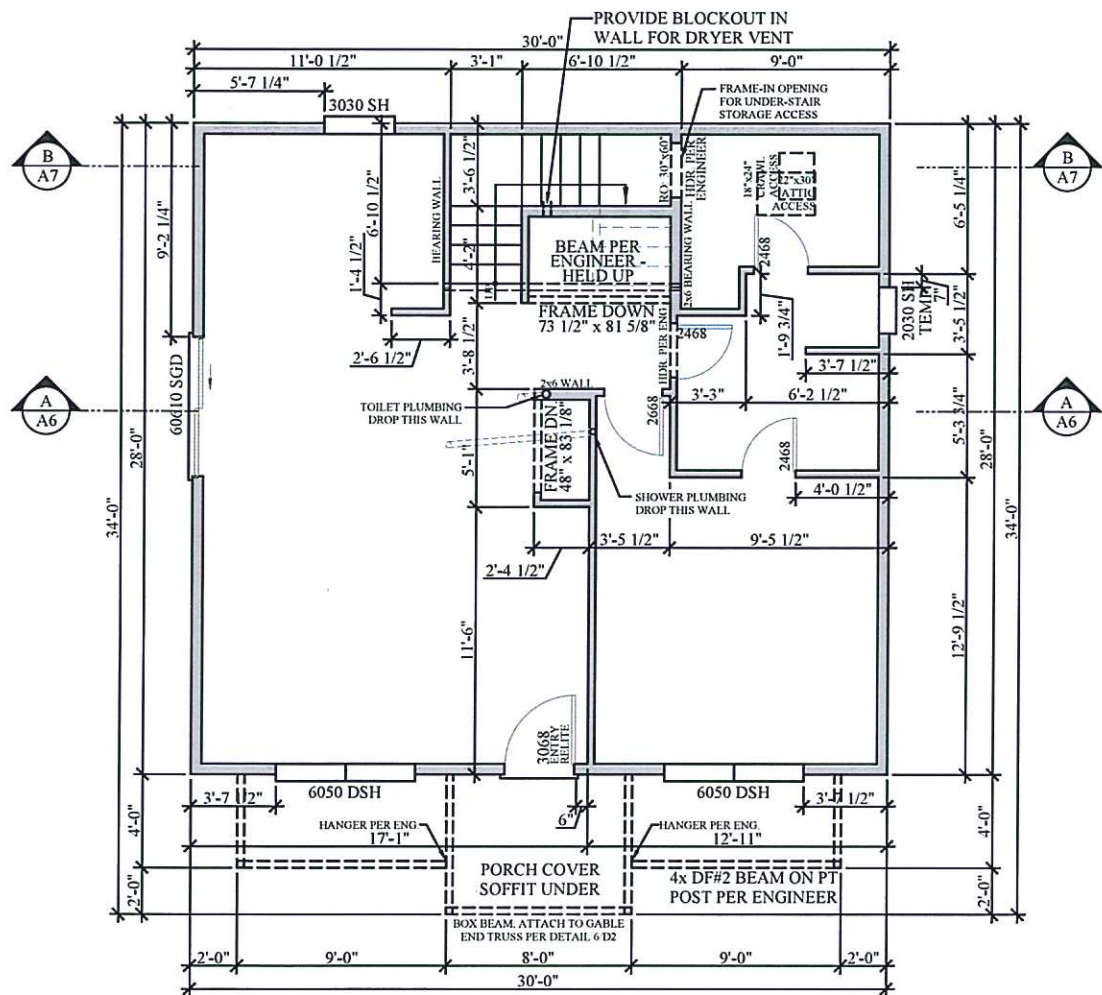
EXPIRATION DATE: 12-31-2021

**GODFREY RESIDENCE**  
FAIRWAY COURT, BANDON, OR 97411

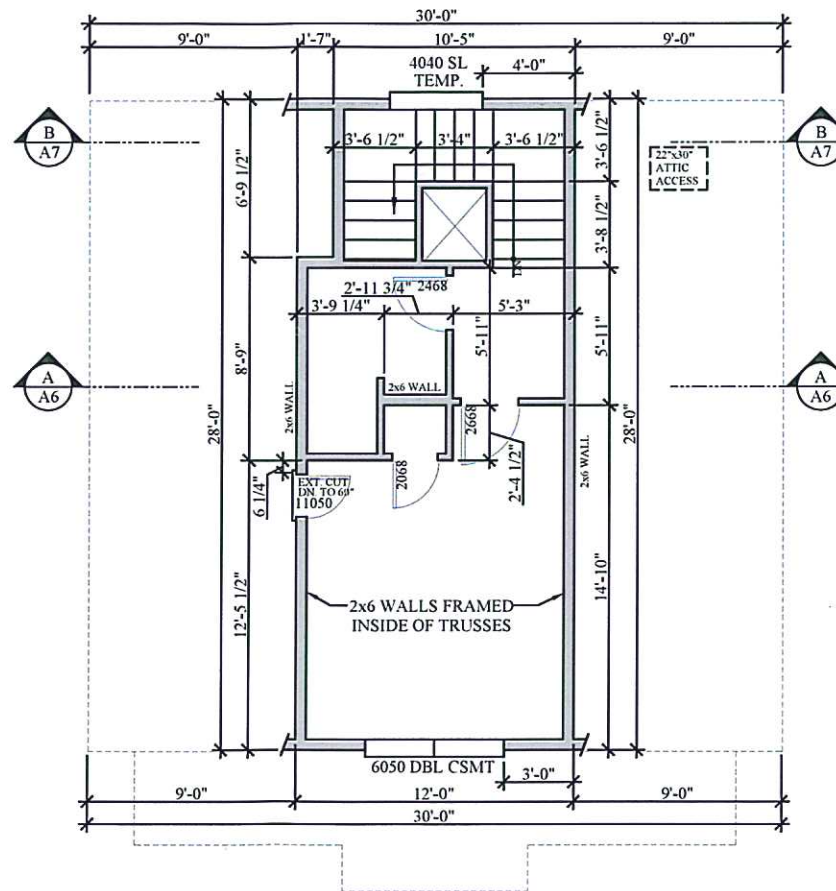
1094 STD  
AH21-063

2ND FLOOR/LOW ROOF  
& ROOF FRAMING  
PLANS

**S1.1**



**MAIN FRAMING PLAN**  
1/8" = 1'-0"



**UPPER FRAMING PLAN**  
1/8" = 1'-0"

**FRAMING PLAN NOTES**

- 1) BEARING MEMBER SIZES NOTED ON STRUCTURAL ENGINEERING "S" SHEETS ARE TO SUPERCEDE ANY DEPICTED ON THE ARCHITECTURAL SHEETS.
- 2) PROVIDE SINGLE OR MULTIPLE STUDS UNDER BEAMS, HEADERS & GIRDER TRUSSES TO MATCH WIDTH OF SUPPORTED MEMBER UNLESS NOTED OTHERWISE ON ENGINEER'S "S" SHEETS..
- 3) ALL WINDOW & DOOR OPENINGS UNDER 6'-0" WIDE ARE TO HAVE A SINLE 2x TRIMER UNLESS NOTED OTHERWISE BY THE ENGINEER.
- 4) PROVIDE DOUBLE 2x TRIMMERS UNDER ALL WINDOW & DOOR OPENINGS 6'-0" OR GREATER.

**INT. & EXT. SWING DR. FRAMING**

- 1) ROUGH OPENING **WIDTH** TO BE THE **DOOR SIZE +2"** UNLESS NOTED OTHERWISE ON PLAN OR BY MANUFACTURER'S SPECIFICATIONS.
- 2) ROUGH OPENING **HEIGHT** TO BE **82 5/8"** FOR TYP. 6'-8" DOOR, U.N.O. PER PLAN OR MANUFACTURER'S SPECS.
- 3) ROUGH OPENING **HEIGHT** TO BE **98 5/8"** FOR TYP. 8'-0" DOOR, U.N.O. PER PLAN OR MANUFACTURER'S SPECS.

**WINDOW FRAMING NOTES**

TYPICAL HEADETR HEIGHTS TO BE AS FOLLOWS U.N.O. ON PLAN:

MAIN FLOOR - 8'-1 1/8" PLATE: 6'-11 1/8"  
 MAIN FLOOR - 9'-1 1/8" PLATE: 7'-11 1/8"  
 UPPER FLOOR - 8'-1 1/8" PLATE: 7'-1 3/8"

**THIS PLAN IS FULLY ENGINEERED**  
 REFER TO ENGINEER'S 'S' SHEETS FOR ADDITIONAL  
 STRUCTURAL, SHEARWALL & HOLDOWN INFORMATION

**GODFREY - 1094**

**ADAIR HOMES INC.**  
 © COPYRIGHT 2021



ADAIR HOMES, INC  
 1311 SE CARDINAL COURT  
 SUITE 100  
 VANCOUVER, WA 98683

2017 ORSC

IIIMS MODEL CODE - JOB #:  
 C05 - RO-30068

PLAN ORIENTATION:  
 STANDARD

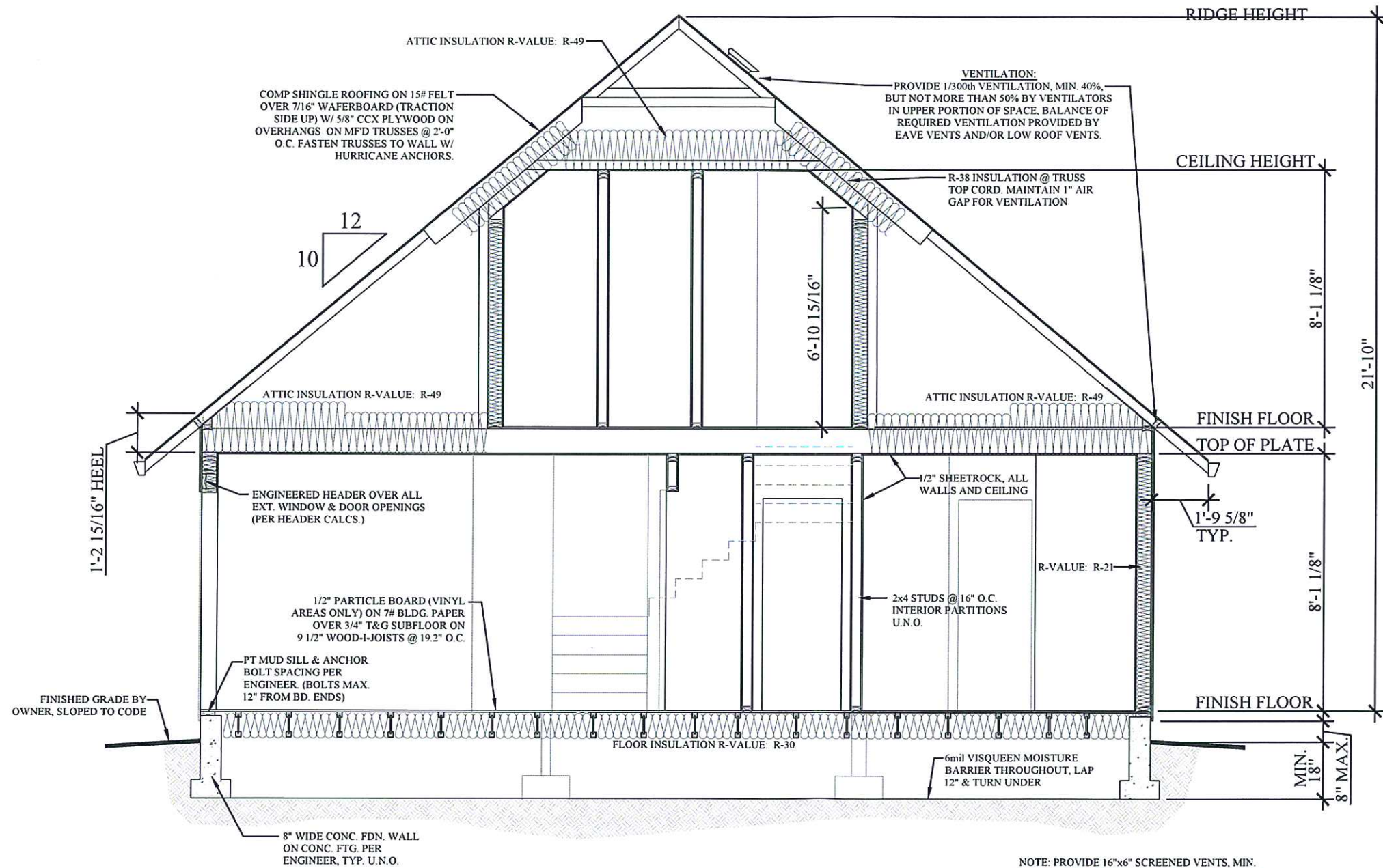
GARAGE CONFIGURATION:  
 NONE

**FRAMING PLANS**

SCALE: 1/8" = 1'-0"  
 DATE: 04/06/2021  
 DRAFTED BY: NF  
 REV:

PAGE:  
**A5**





**SECTION A**  
1/4" = 1'-0"

NOTE: PROVIDE 16"x6" SCREENED VENTS, MIN. 1 SQ. FT. OF FREE VENT AREA FOR EVERY 1500 SQ. FT. OF CRAWL SPACE FLOOR AREA & TO MEET LAYOUT REQUIREMENTS OF CODE PER R408.1 (2017 ORSC).

**ADAIR HOMES INC.**  
© COPYRIGHT 2021

ADAIR HOMES, INC  
1311 SE CARDINAL COURT  
SUITE 100  
VANCOUVER, WA 98683

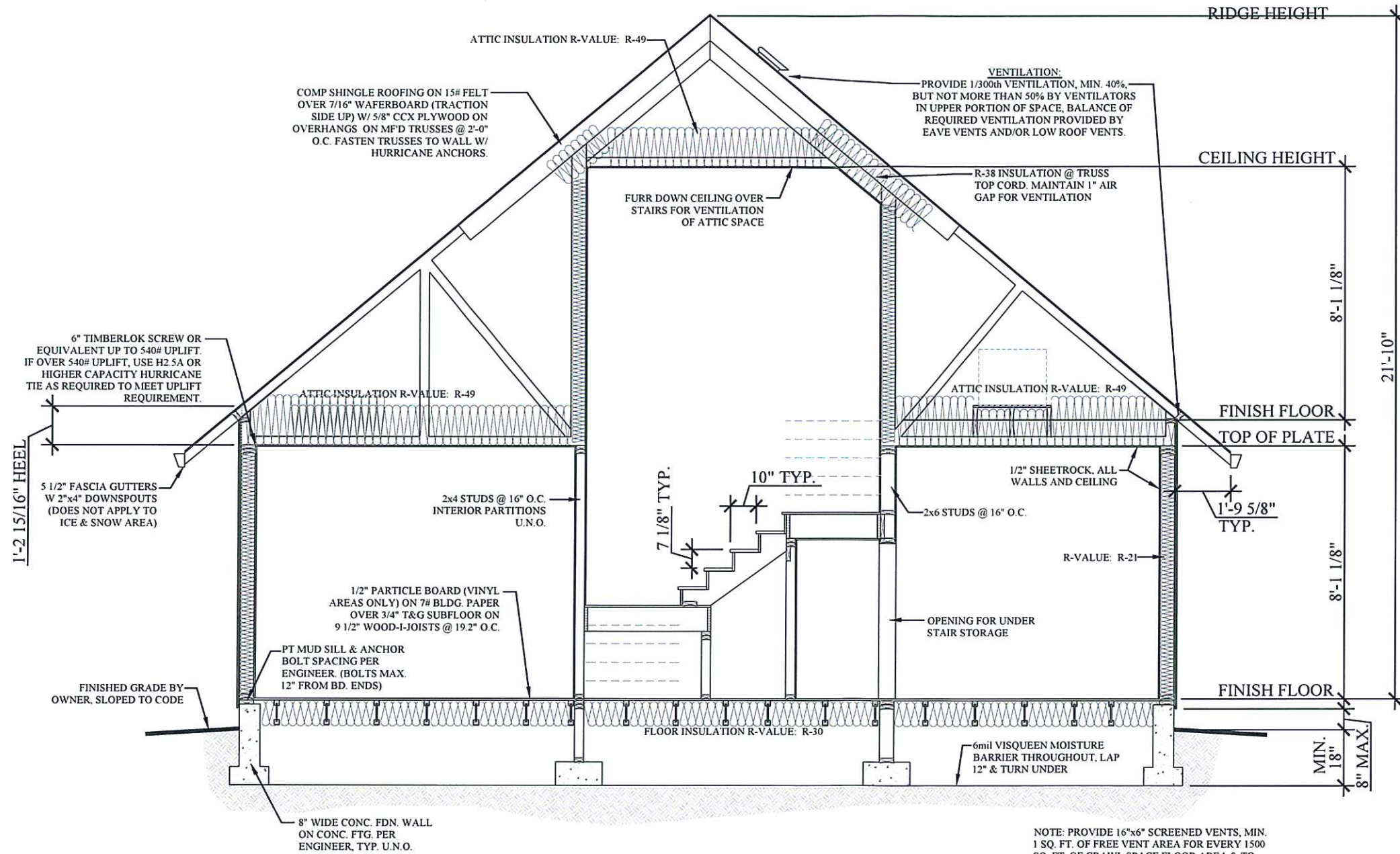
**GODFREY - 1094**

GARAGE CONFIGURATION:  
NONE  
PLAN ORIENTATION:  
STANDARD  
IIMS MODEL CODE - JOB #:  
C05 - RO-30068  
**BUILDING SECTION A**

2017 ORSC

SCALE: 1/4" = 1'-0"  
DATE: 04/06/2021  
DRAFTED BY: NF  
REV:

PAGE:  
**A6**



**SECTION B**  
1/4" = 1'-0"

NOTE: PROVIDE 16"x6" SCREENED VENTS, MIN. 1 SQ. FT. OF FREE VENT AREA FOR EVERY 1500 SQ. FT. OF CRAWL SPACE FLOOR AREA & TO MEET LAYOUT REQUIREMENTS OF CODE PER R408.1 (2017 ORSC).

<b>ADAIR HOMES INC.</b> © COPYRIGHT 2021 ADAIR HOMES, INC 1311 SE CARDINAL COURT SUITE 100 VANCOUVER, WA 98683	<b>GODFREY - 1094</b>		2017 ORSC
	GARAGE CONFIGURATION: NONE	PLAN ORIENTATION: STANDARD	IIMS MODEL CODE - JOB #: C05 - RO-30068
<b>BUILDING SECTION B</b>			