



Planning Permit Application

CITY OF BANDON PLANNING
 P.O. BOX 67
 555 HWY 101
 BANDON, OR 97411
 P:(541) 347-2437
 F:(541)347-1415

Permit Number:

APPLICATION TYPE (select all that apply)		
<input type="checkbox"/> Annexation*	<input type="checkbox"/> Land Use Review*	<input type="checkbox"/> Subdivision*
<input type="checkbox"/> Certificate of Appropriateness (CoA)*	<input type="checkbox"/> Partition*	<input type="checkbox"/> Vacation*
<input type="checkbox"/> Comprehensive Plan or Zone Amendment*	<input checked="" type="checkbox"/> Plan Review (PR)	<input type="checkbox"/> Variance*
<input type="checkbox"/> Conditional Use Permit (CUP)*	<input type="checkbox"/> Planned Unit Development (PUD)*	<input checked="" type="checkbox"/> Zoning Compliance (ZC)
<input type="checkbox"/> Floodplain Development*	<input type="checkbox"/> Property Line Adjustment (PLA)*	<input type="checkbox"/> Other _____*
* Pre-application required		Total Fees: \$

I. PROJECT LOCATION			
Street Address: 1605 BEACH LOOP DR BANDON			
Map Number / Tax Lot(s): 2BS-15W-36BB / 5300	Zone: CD-1	Floodplain: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

II. APPLICANT'S INFORMATION (applicant is the primary party responsible for development)	
Applicant's Name: RICK DEANGELO	Phone: 541-520-1578
	E-Mail: 2deangelos@gmail.com
Applicant's Mailing Address: BOX 220 ELMIRA, OR. 97437	

III. PROPERTY OWNER'S INFORMATION	
Property Owner's Name: RICK DEANGELO	Phone: 541 520 1578
	E-mail: 2deangelos@gmail.com
Mailing Address: BOX 220 ELMIRA OR. 97437	

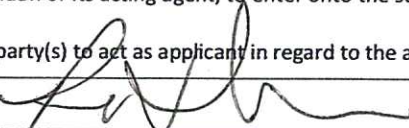
IV. OTHER INFORMATION (APPLICANT'S REP, SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, ETC)			
Title: Engineer	Name: SCOTT KENT		
Email: SCOTT.KENT.engineering@gmail.com	Phone: 541-707-0015		
Title: BUILDING CONTRACTOR	Name: MONOTHIC DESIGN - ZAC ADAMS		
Email: INFO@MONOTHICDESIGNANDBUILD.COM	Phone: 541-294-5908		
Title:	Name:		
Email:	Phone:		

V. PROJECT DESCRIPTION
Use: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Other _____
*Please attach a short narrative that describes your proposed project and indicates the proposed use. CONSTRUCTION OF A 2-STORY ACCESSORY BUILDING. USE: 1ST FLOOR - WORKSHOP, STORAGE. 2ND FLOOR - GUEST ROOM & SOCIAL ROOM.

VI. SITE PLAN: Please see our "How to Create a Site Plan" and sample site plan document for requirements and tips on how to create your site plan. Plans must be drawn to scale and may be submitted electronically; **printed copies must be submitted on 11x17, ledger size paper (larger or smaller paper sizes will not be accepted).**

VII. PROPERTY OWNER SIGNATURE/AUTHORIZATION

- I have read the application and the attached documentation and I understand that my application may be delayed or deemed incomplete if I have provided insufficient information and documentation to allow for approval.
- I certify that the information provided in this application, including all submittals and attachments, is true and correct to the best of my knowledge.
- I understand and agree that all required inspections will be requested 2 business days in advance, and it is the applicant's responsibility to ensure required inspections have been requested, completed, and approved.
- I authorize the City of Bandon or its acting agent, to enter onto the subject property, as described in section "I. Project location".
- I authorize the following party(s) to act as applicant in regard to the attached application for the subject property described above.

X Applicant's Signature: 	Date: 6.23.21
<i>Property owner's signature required if applicant is not the property owner</i>	
X Property Owner's Signature:	Date:

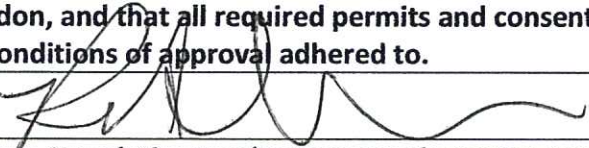
Development Disclosure

The City of Bandon is obligated to report all ground disturbances within the City of Bandon to the Coquille Indian Tribe. Property owners and applicants must adhere to all conditions and requirements set out by the Coquille Indian Tribe, State Historic Preservation Office (SHPO) or both if required. Please be aware that state statutes and federal law govern how archaeological sites are to be managed. ORS 97.745 prohibits the willful removal, mutilation, defacing, injury, or destruction of any cairn, burial, human remains, funerary objects, or objects of cultural patrimony of a Native Indian. ORS 358.920 prohibits excavation, injury, destruction, or alteration of an archaeological site or object, or removal of an archaeological object from public or private lands.

It is the property owner and applicant's responsibility to determine if additional permits from other agencies will be required, including but not limited to: Oregon State Building Codes, Oregon State Department of Environmental Quality, FEMA, Oregon State Fish and Wildlife and U.S. Fish and Wildlife. If additional permits are required, it is the responsibility of the property owner/applicant to obtain such permits and comply with their conditions of approval.

It is the property owner/applicant's responsibility to provide the City of Bandon all necessary legal documentation related to the property, including but not limited to: proof of ownership, receipts, deed restrictions, vacation records, easement records, etc.

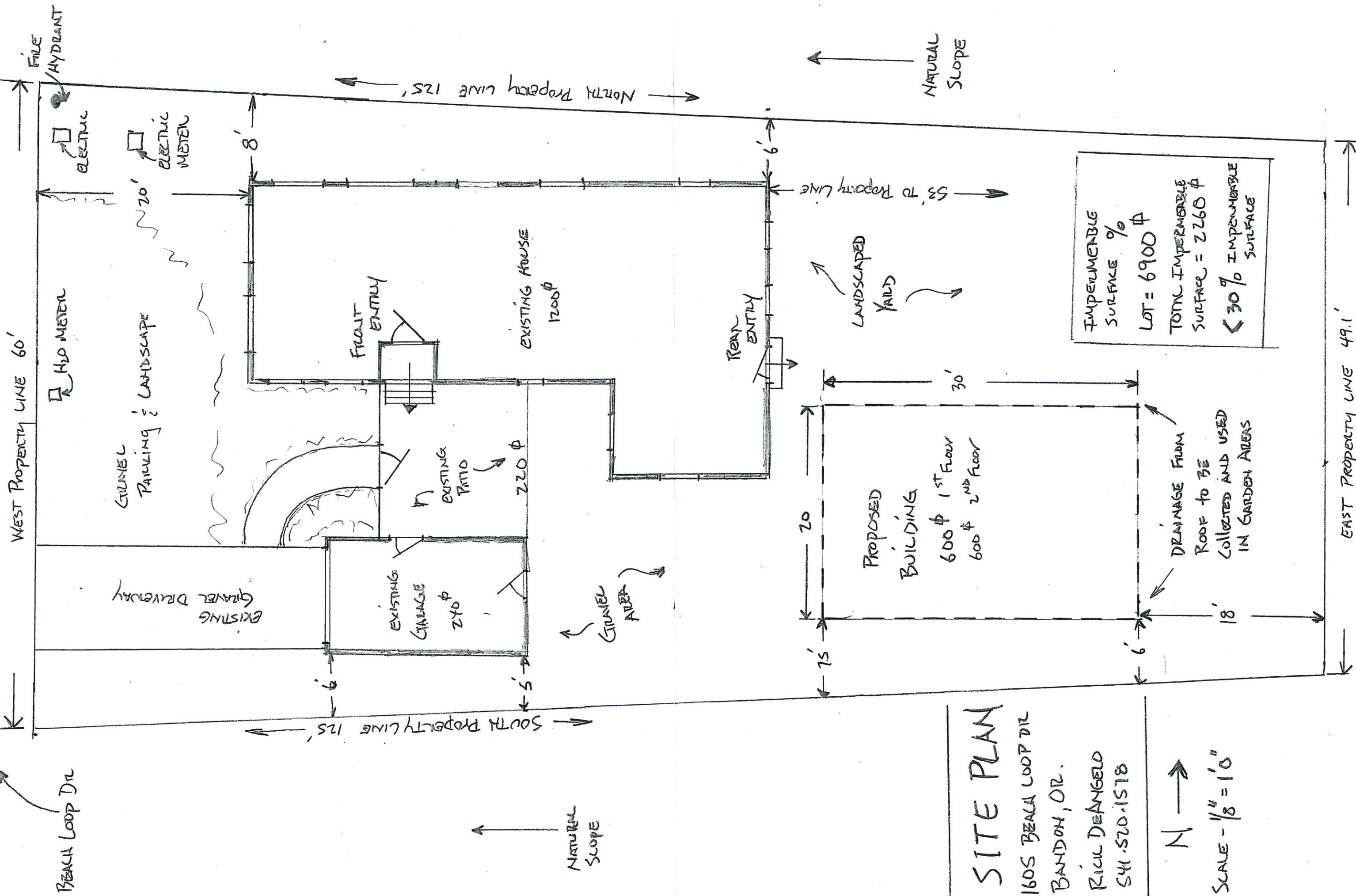
I acknowledge, understand, and agree, that all relevant documentation will be provided to the City of Bandon, and that all required permits and consent will be obtained prior to the start of construction, with all conditions of approval adhered to.

X 	6.23.21
<i>Property Owner's Signature (Property owner's signature required if applicant is not the property owner)</i>	Date
X	
<i>Applicant's Signature</i>	Date

Staff's Signature of Intake: _____ Date: _____

Staff's Signature of Completeness: _____ Date: _____

Staff's Signature of Approval: _____ Date: _____



SITE PLAN

1605 BEACH LOOP DR
 BANDON, OR.
 RICIL DEANGELD
 SKI 520-1518



SCALE - 1/8" = 10'

GENERAL NOTES

STRUCTURE DESCRIPTION:

WOOD FRAMED RESIDENTIAL STRUCTURE AND GARAGE LOCATED IN BANDON, OREGON

DESIGN NOTES:

- THESE PLANS ARE FOR THE FOUNDATION, VERTICAL GRAVITY SYSTEM, AND THE LATERAL FORCE RESISTING SYSTEM
- DESIGN PER THE STATE OF OREGON 2019 STRUCTURAL SPECIALTY CODE AMENDMENTS
- INSTALL ALL PRODUCTS PER THE MANUFACTURERS INSTRUCTIONS

DESIGN LOADS:

- ROOF SNOW OF 25 PSF
- WIND 120 MPH 3-SECOND GUST, EXPOSURE "D"
- SEISMIC: $S_s = 2.004$ g, $S_1 = 0.963$ g, SEISMIC CATEGORY "D", SITE CLASS (SOIL) "D"

CONCRETE:

- ALL CONCRETE FOR SLABS SHALL BE 4000 PSI 28-DAY STRENGTH (MINIMUM)
- ALL CONCRETE FOR SPREAD FOOTINGS SHALL BE 3000 PSI 28-DAY STRENGTH (MINIMUM)
- NOMINAL COARSE AGGREGATE SIZE SHALL BE SPECIFIED BY THE CONCRETE PROVIDER BUT SHALL NOT EXCEED 3/4"

CONCRETE FINISH:

- CONCRETE FLOOR SHALL HAVE HARD STEEL TROWEL FINISH
- TROWELING SHALL BEGIN AFTER SURFACE HAS RECEIVED A FLOAT FINISH
- FLOOR FINISH SHALL BE IN ACCORDANCE WITH ASTM E1155 WITH $F_f = 75$ (MIN) AND $FL = 50$ (MIN)
- OUT-OF-LEVEL DEVIATION SHALL NOT EXCEED 1/8" UNDER A 10'-0" STRAIGHT EDGE
- PROVIDE CONTRACTION JOINTS AT 20'-0" MAX SPACING
- PROVIDE TOOLED CONTRACTION JOISTS PER ACI 224.3R; CONTRACTOR MAY REDUCE REINFORCEMENT STEEL ACROSS CONTRACTION JOISTS BY 1/2

REINFORCEMENT:

- ALL CONCRETE REINFORCEMENT SHALL BE DEFORMED STEEL REINFORCING BARS CONFORMING TO ASTM A 615 HAVING A MINIMUM YIELD STRENGTH OF 60,000 PSI
- PROVIDE 3" CLEAR COVER BETWEEN REINFORCEMENT AND BOTTOM OF FOOTINGS OR WHEN CONCRETE IS CAST AGAINST SOIL, 1-1/2" CLEAR BETWEEN EDGE OF FORMS AND REINFORCEMENT, 1-1/2" CLEAR BETWEEN TOP OF CONCRETE AND REINFORCEMENT

FOUNDATIONS:

- ALL EXTERIOR FOOTINGS SHALL EXTEND AT LEAST 12" BELOW GRADE
- THICKEN FOOTING TO 30" DEEP FOR A DISTANCE OF 1'-0" EITHER SIDE OF HOLD DOWN ANCHORS
- PLACE FOUNDATION ON STRUCTURAL FILL LEVELING COURSE
- ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 1,500 PSF
- DO NOT EXCAVATE CLOSER THAN A 2H:1V SLOPE BELOW FOUNDATIONS
- PROVIDE PERIMETER FOUNDATION DRAINAGE SYSTEM (SEPARATE FROM ROOF DRAINAGE SYSTEM)
- WATERPROOFING BY CONTRACTOR

STRUCTURAL FILL:

- ALL STRUCTURAL FILL SHALL BE 3/4"-0 DENSE GRADED AGGREGATE PER TABLE 0263-1 OF OSSC SECTION 02630.10
- PLACE STRUCTURAL FILL IN HORIZONTAL LIFTS NOT EXCEEDING 8" LOOSE THICKNESS FOR ROLLER COMPACTION EQUIPMENT AND 4" FOR HAND-OPERATED COMPACTION EQUIPMENT
- USE VIBRATORY COMPACTION FOR STRUCTURAL FILL

- USE CAUTION AROUND EXISTING STRUCTURES TO AVOID VIBRATION RELATED DAMAGE
- EACH LIFT SHALL BE COMPACTED TO 95 PERCENT OR GREATER OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D698 (STANDARD PROCTOR)

CORROSION PROTECTION:

- HARDWARE AND FASTENERS EXPOSED TO THE WEATHER OR IN CONTACT WITH PRESSURE TREATED WOOD OR SOIL SHALL BE STAINLESS STEEL OR HOT-DIPPED GALVANIZED PER ASTM A153

SHEAR WALL CONSTRUCTION SPECIFICATIONS:

- ALL SHEATHING FOR SHEAR WALLS SHALL BE FULLY BLOCKED UNLESS OTHERWISE NOTED; USE FLAT-WISE 4x BLOCKING BETWEEN STUDS AT UNSUPPORTED EDGES (PROVIDE "EDGE" NAILING)
- WHEN DOUBLE SHEATHING IS SPECIFIED, VERTICAL PANEL EDGES ON EITHER SIDE OF THE WALL SHALL BE STAGGERED 16", EXCEPT AT WALL ENDS
- NAILS SHALL BE DRIVEN FLUSH TO THE SHEATHING; ADD (1) NEW NAIL FOR EVERY (2) OVERDRIVEN NAILS; IF ADDING NAILS WILL DECREASE THE AVERAGE "EDGE" NAILING DISTANCE BELOW 3" ON-CENTER, CONTACT ENGINEER FOR INSTRUCTIONS
- ALL NAILS SHALL HAVE A FULL HEAD (CLIP HEAD NOT PERMITTED)
- PROVIDE SHEAR WALL "EDGE" NAILING TO ALL MEMBERS (SINGLE OR NAIL-LAMINATED) WITH HOLD DOWNS OR STRAPS
- WHEN NAIL SPACING IS 2" O.C., ALL LUMBER AT PANEL EDGES SHALL BE 4" NOMINAL THICKNESS
- STRAP TIES, WHERE SPECIFIED, SHALL BE CENTERED BETWEEN FLOORS; FASTEN IN ACCORDANCE WITH SIMPSON REQUIREMENTS
- INSTALL ALL HOLD DOWN HARDWARE PER SIMPSON INSTRUCTIONS
- ONLY FULL-HEIGHT (TOP PLATE TO SOLE PLATE) LUMBER SHALL BE USED FOR SHEAR WALL CHORDS
- HOLD DOWNS SHALL BE INSTALLED IN DIRECT CONTACT WITH PLATES (DOUBLE-TOP, SILL, SOLE)
- ANCHOR BOLT HOLES DRILLED IN THE SILL PLATE SHALL NOT BE DRILLED MORE THAN 1/16" DIAMETER OVERSIZED.
- SHEAR WALL LENGTH INDICATED ON THE PLANS IS THE MINIMUM OUT-TO-OUT DISTANCE BETWEEN CHORDS; THE ACTUAL WALL LENGTH MAY BE LONGER

ROOFING AND UNDERLAYMENT:

- ROOF SHINGLES SHALL BE LAMINATED ARCHITECTURAL FIBERGLASS / ASPHALT AND SHALL MEET THE REQUIREMENTS OF ASTM 7158 CLASSIFICATION G OR H (REFERENCE IBC TABLE 1504.1.1)
- UNDERLAYMENT SHALL BE ASPHALT IMPREGNATED CELLULOSE AND SHALL CONFORM TO 2018 IBC TABLE 1507.1.1(1) FOR ASPHALT SHINGLES
- INSTALLATION OF ROOFING UNDERLAYMENT SHALL CONFORM TO 2018 IBC TABLES 1507.1.1(2) AND 1507.1.1(3) FOR ASPHALT SHINGLES
 - ASTM D226 TYPE II OR
 - ASTM D4869 TYPE I, II, III, OR IV
- PROVIDE 2" DRIP EDGE
- FASTENERS SHALL BE HDG OR SS HAVING A $\phi 5/16$ (MIN) HEAD AND SHALL PENETRATE DECKING BY 3/4"
- METAL FLASHING SHALL BE SS 0.019" MIN THICKNESS

VENTS:

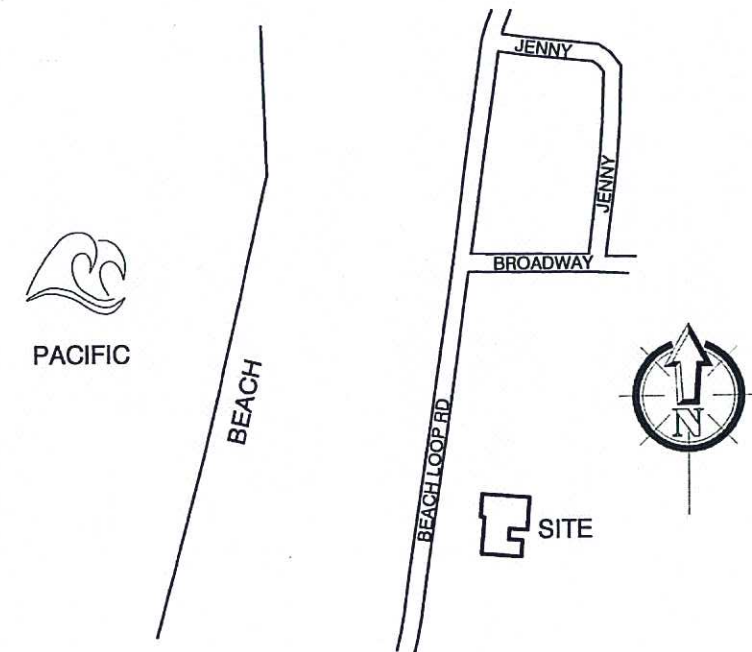
- PROVIDE CONTINUOUS ROOF RIDGE VENTING WITH ASSOCIATED SOFFIT VENTS
- PROVIDE BATHROOM MECHANICAL VENTILATION, 50 CFM

INSPECTIONS:

- ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE FOR THE FOLLOWING REQUIRED INSPECTIONS:
 - SHEARWALL FRAMING AND SHEATHING (INSPECT PRIOR TO INSULATION AND INTERIOR WALL FINISHES)
 - EPOXY INSTALLED ANCHORS IN CONCRETE (AS REQUIRED)

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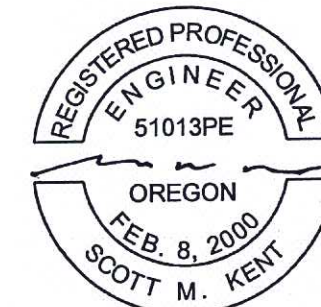
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SITE: 1605 BEACH LOOP, BANDON, OREGON;
REFERENCE MAP 28-15-36BB TL5300

A VICINITY MAP

NTS



EXPIRES: 6/31/2021

DEANGELO REMODEL

TITLE

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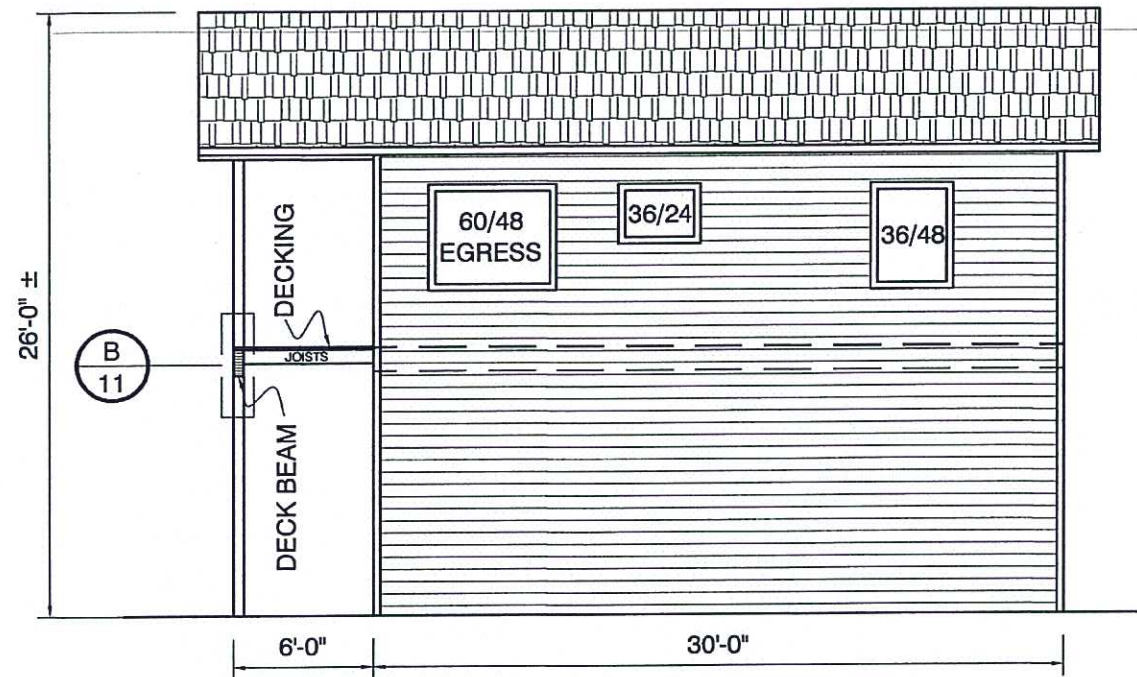
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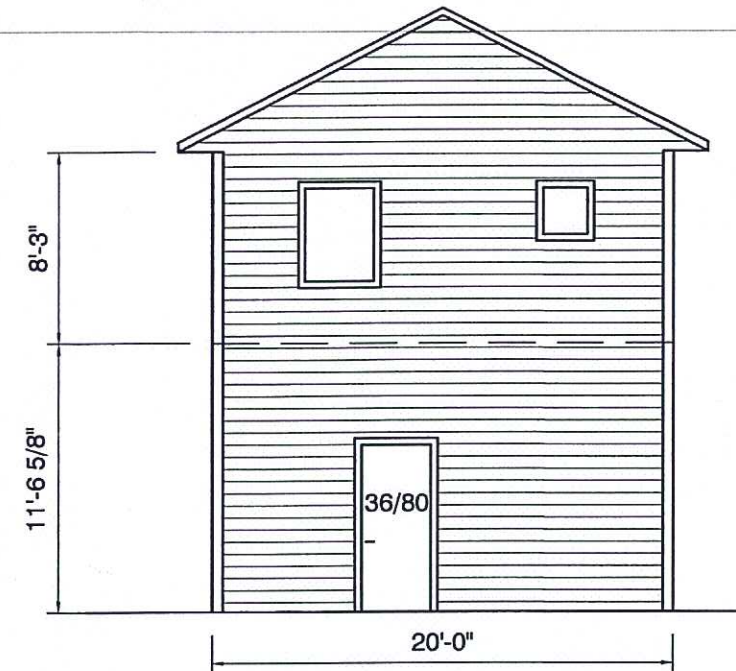
Residential
Engineering LLC

PROJECT: RE050-21 DATE: JUNE 19, 2021

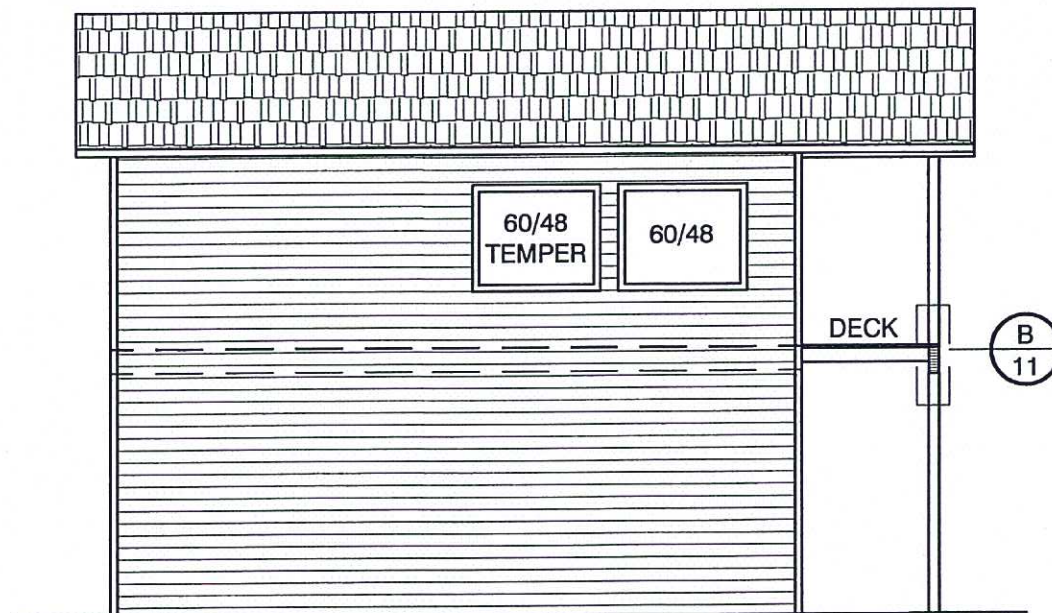
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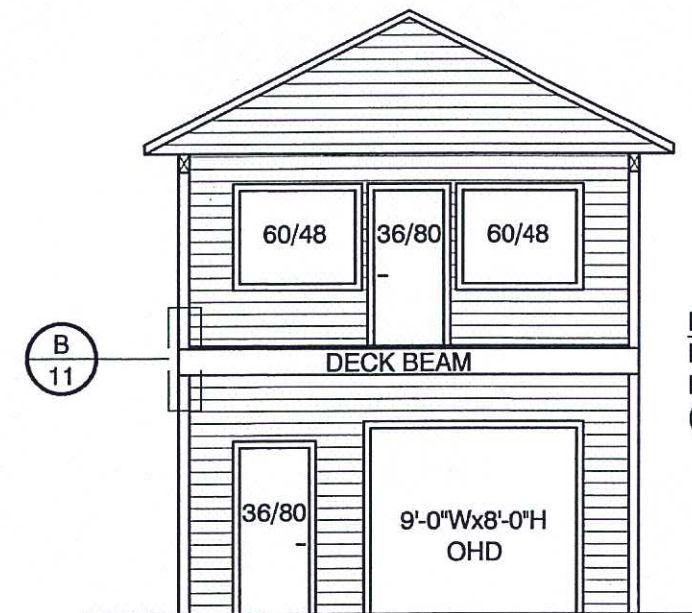
A SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



A EAST ELEVATION
SCALE: 1/8" = 1'-0"



A NORTH ELEVATION
SCALE: 1/8" = 1'-0"



A WEST ELEVATION
SCALE: 1/8" = 1'-0"

NOTE: PROVIDE GUARD RAIL AROUND PERIMETER OF DECK (NOT SHOWN)



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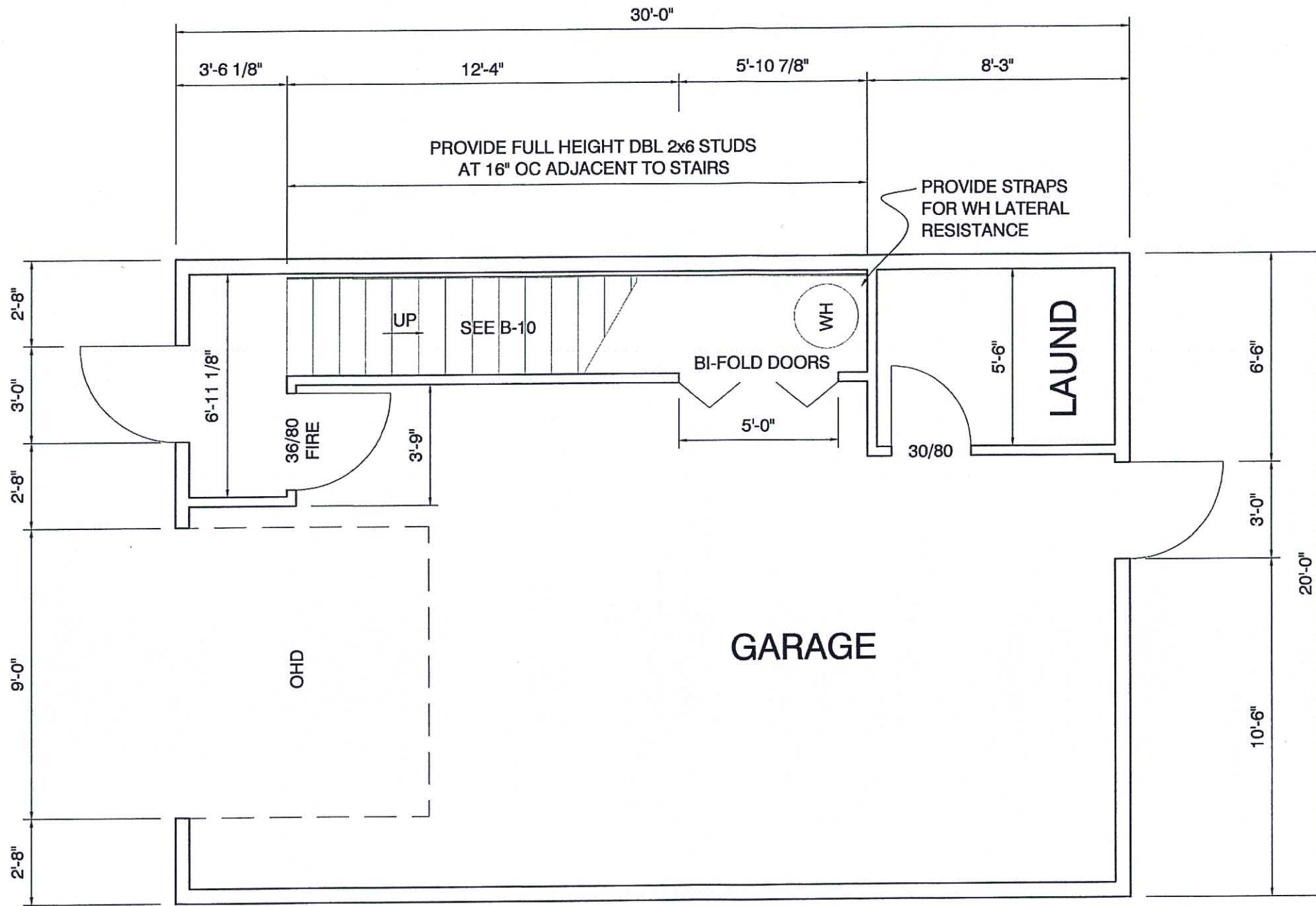
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A FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



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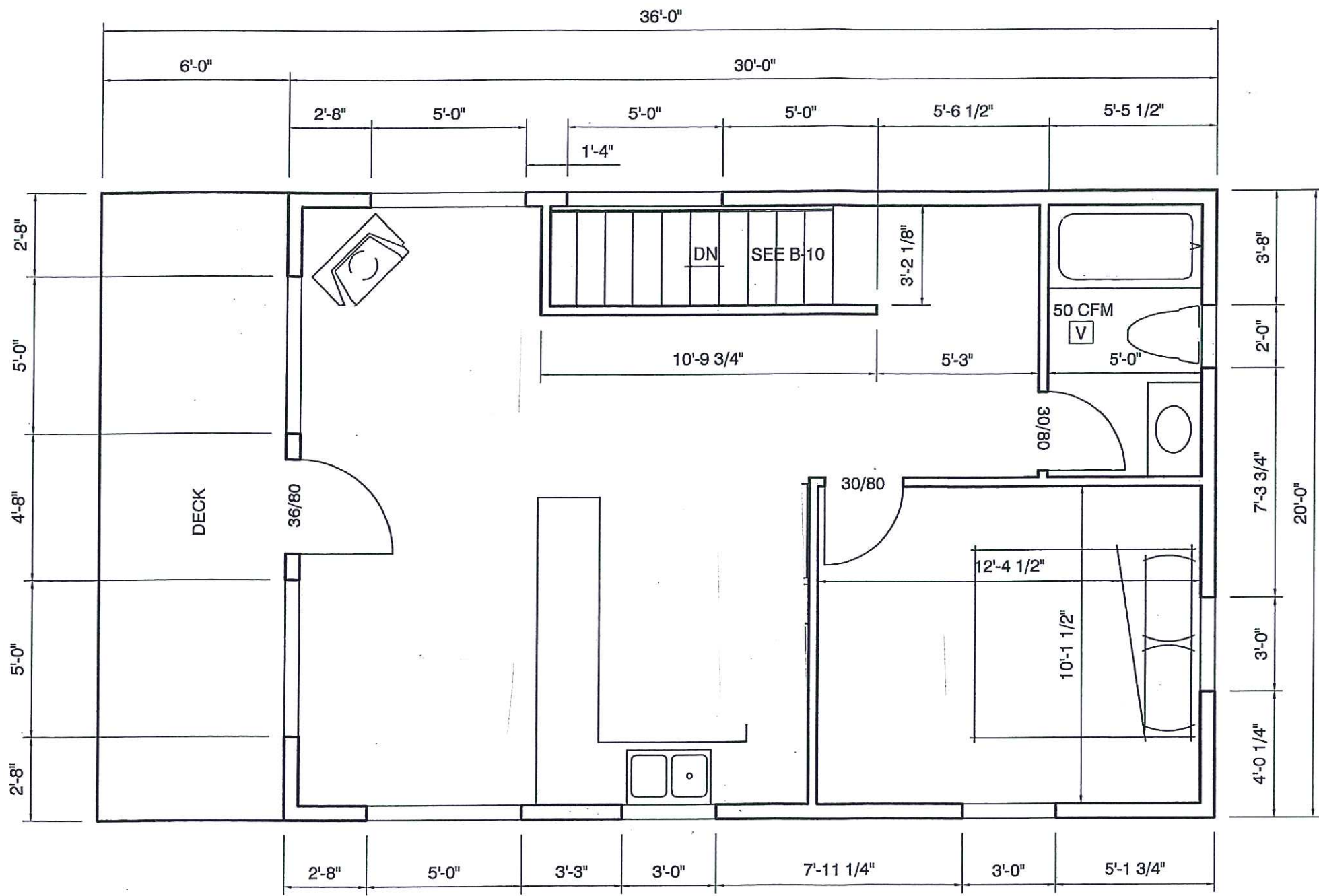
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RICK AND LINDA DEANGELO
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TITLE
DEANGELO REMODEL

3



A SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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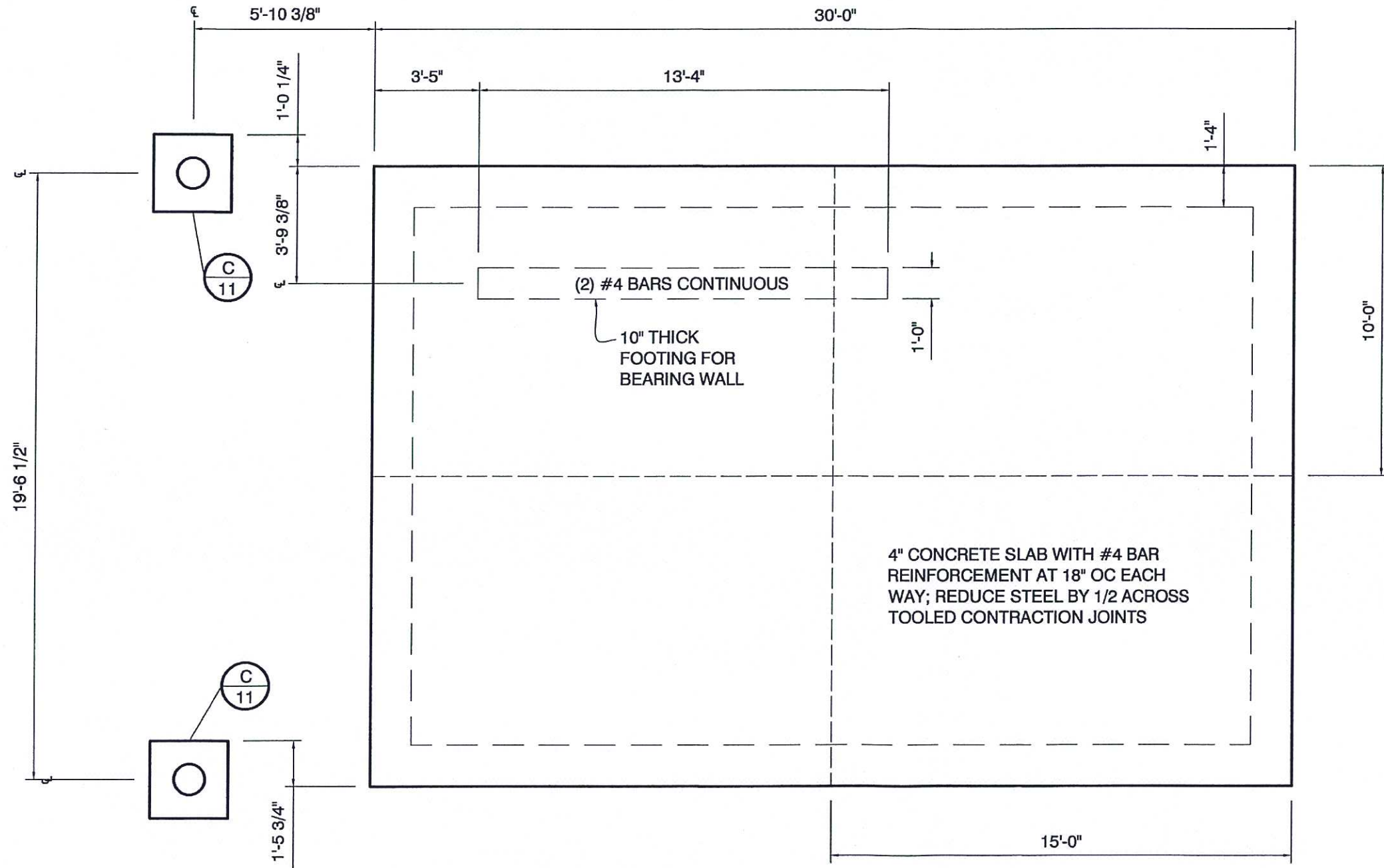
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A FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



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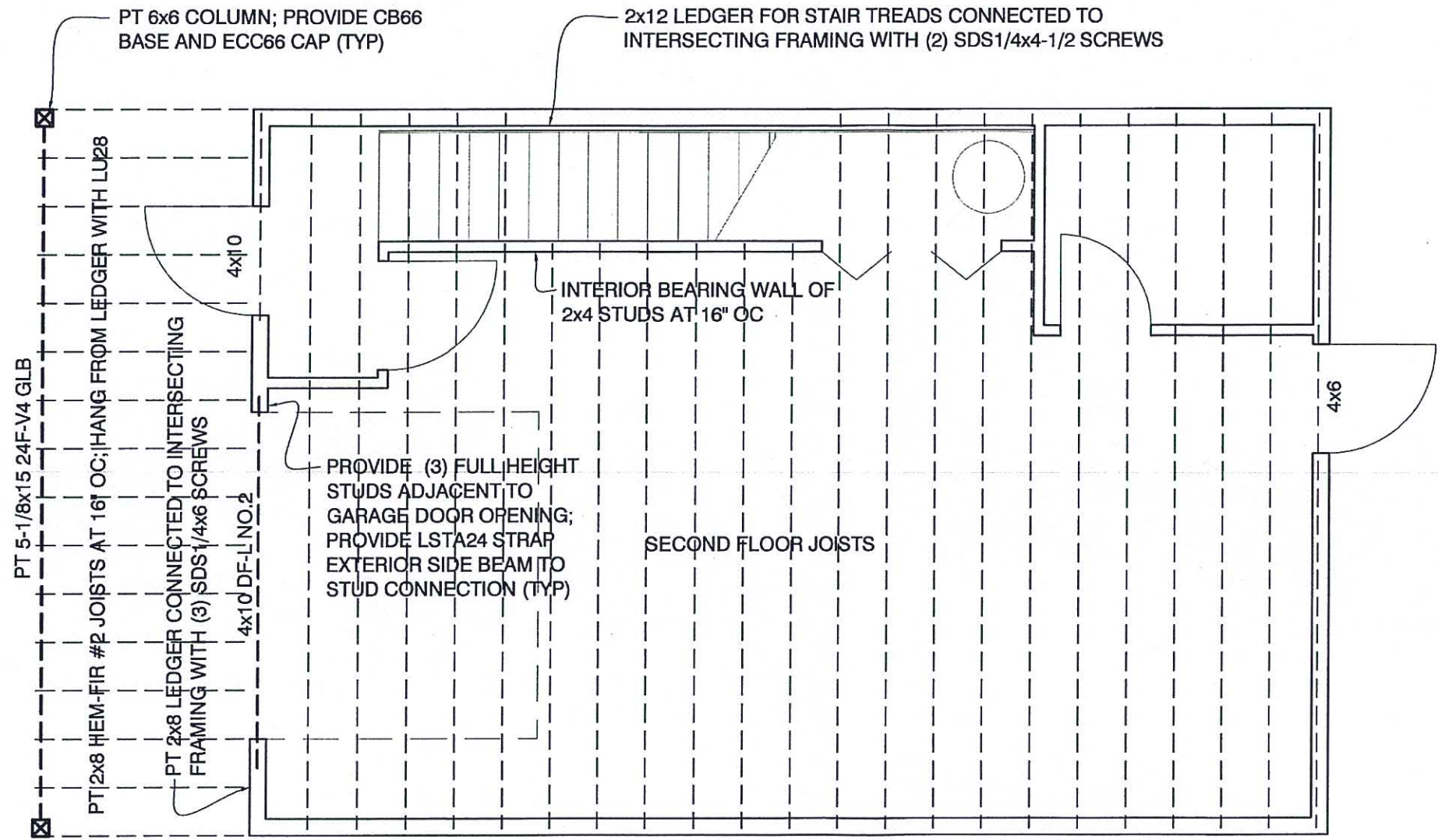
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DEANGELO REMODEL
 TITLE



A FIRST FLOOR HEADERS AND SECOND FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"



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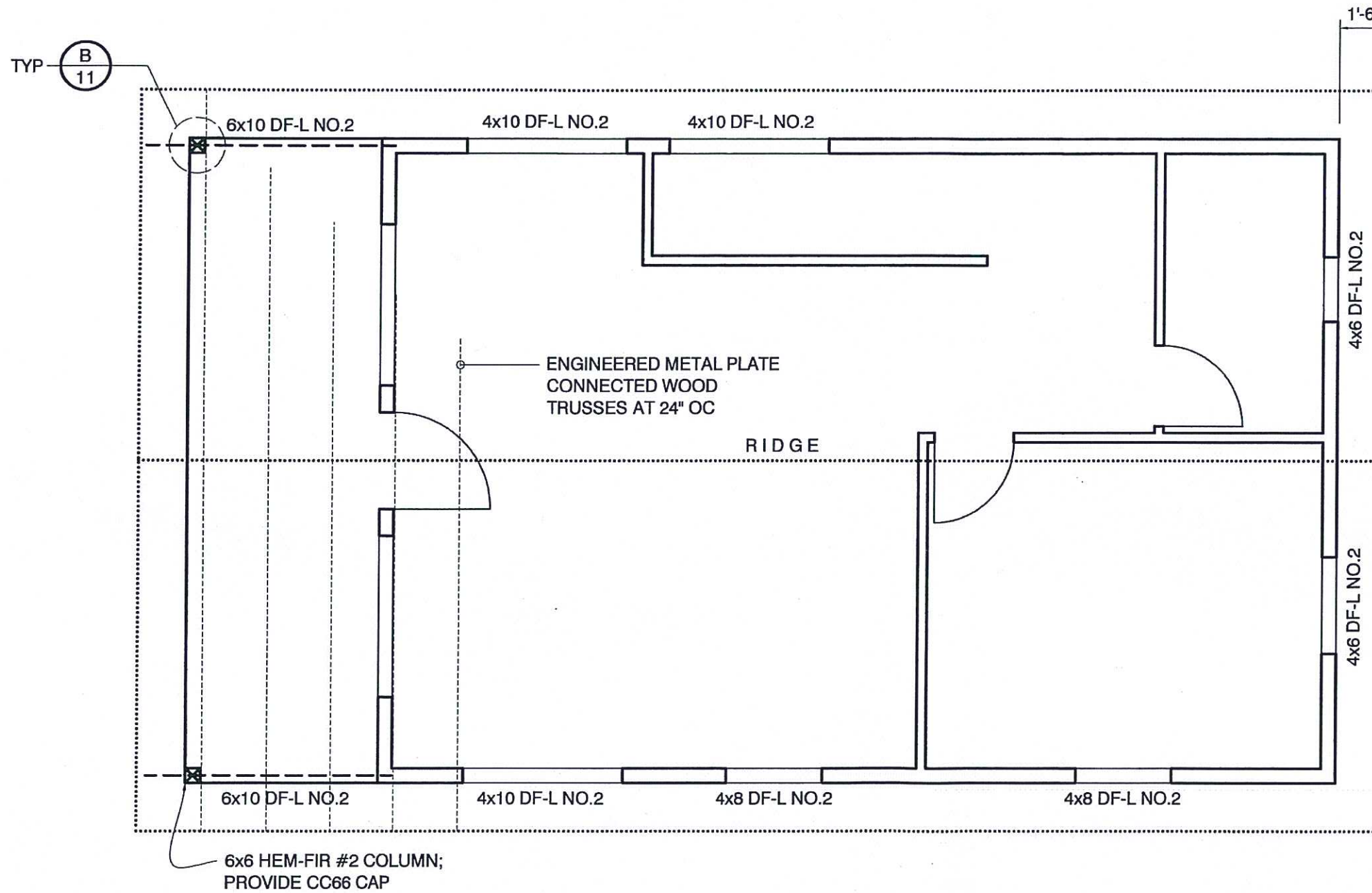
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SECOND FLOOR HEADERS AND ROOF FRAMING PLAN

A

SCALE: 1/4" = 1'-0"



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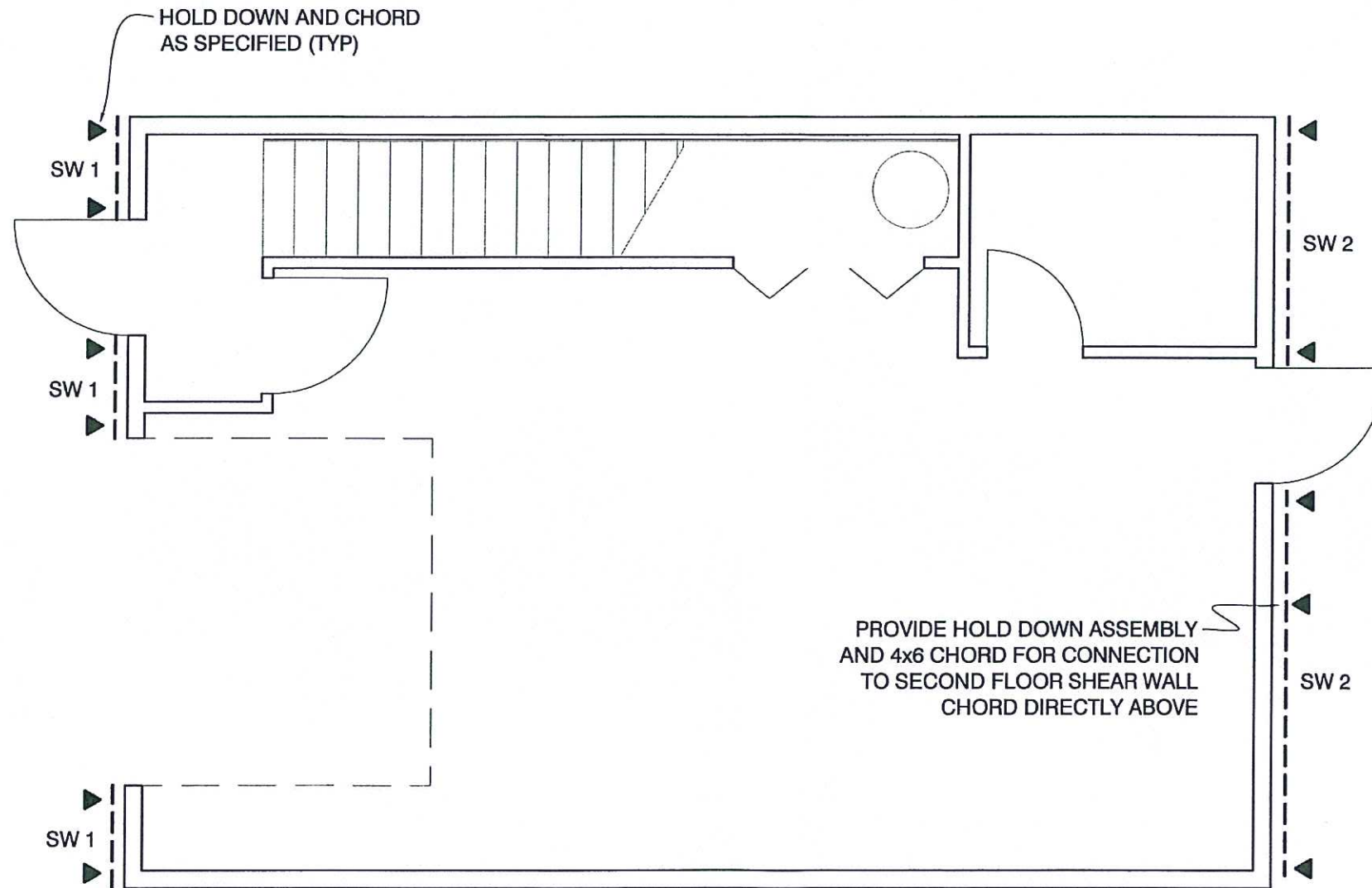
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SHEAR WALL, SW 1 DESIGN

PROVIDE 15/32" SPAN-RATED SHEATHING FASTENED TO FRAMING WITH 0.131x2-1/2 NAILS AT 3" OC AROUND PANEL EDGES AND 12" OC IN FIELD, FULLY BLOCKED; PROVIDE NAIL-LAMINATED (TWO ROWS OF 10d NAILS AT 4" OC) AT VERTICAL SHEATHING SEAMS

AT ENDS OF SHEAR WALL, PROVIDE FULL-HEIGHT 4x6 DF-L NO.1 CHORDS CONNECTED TO SAME BELOW (FIRST FLOOR) WITH HDU11 ANCHORS AND Ø1" PAB

PROVIDE 4x6 SILL PLATE CONNECTED TO FOUNDATION WITH Ø5/8x10 J-BOLTS AT 18" OC (UNDER SHEAR WALLS, ONLY; OTHERWISE SPACED AT 48" OC)

SHEAR WALL, SW 2 DESIGN

PROVIDE 15/32" SPAN-RATED SHEATHING FASTENED TO FRAMING WITH 0.131x2-1/2 NAILS AT 4" OC AROUND PANEL EDGES AND 12" OC IN FIELD, FULLY BLOCKED

AT ENDS OF SHEAR WALL, PROVIDE FULL-HEIGHT 4x6 DF-L NO.1 CHORDS CONNECTED TO SAME BELOW (FIRST FLOOR) WITH HDU5 ANCHORS AND SSTB24

PROVIDE 4x6 SILL PLATE CONNECTED TO FOUNDATION WITH Ø5/8x10 J-BOLTS AT 24" OC (UNDER SHEAR WALLS, ONLY; OTHERWISE SPACED AT 48" OC)

A FIRST FLOOR SHEAR WALLS
SCALE: 1/4" = 1'-0"



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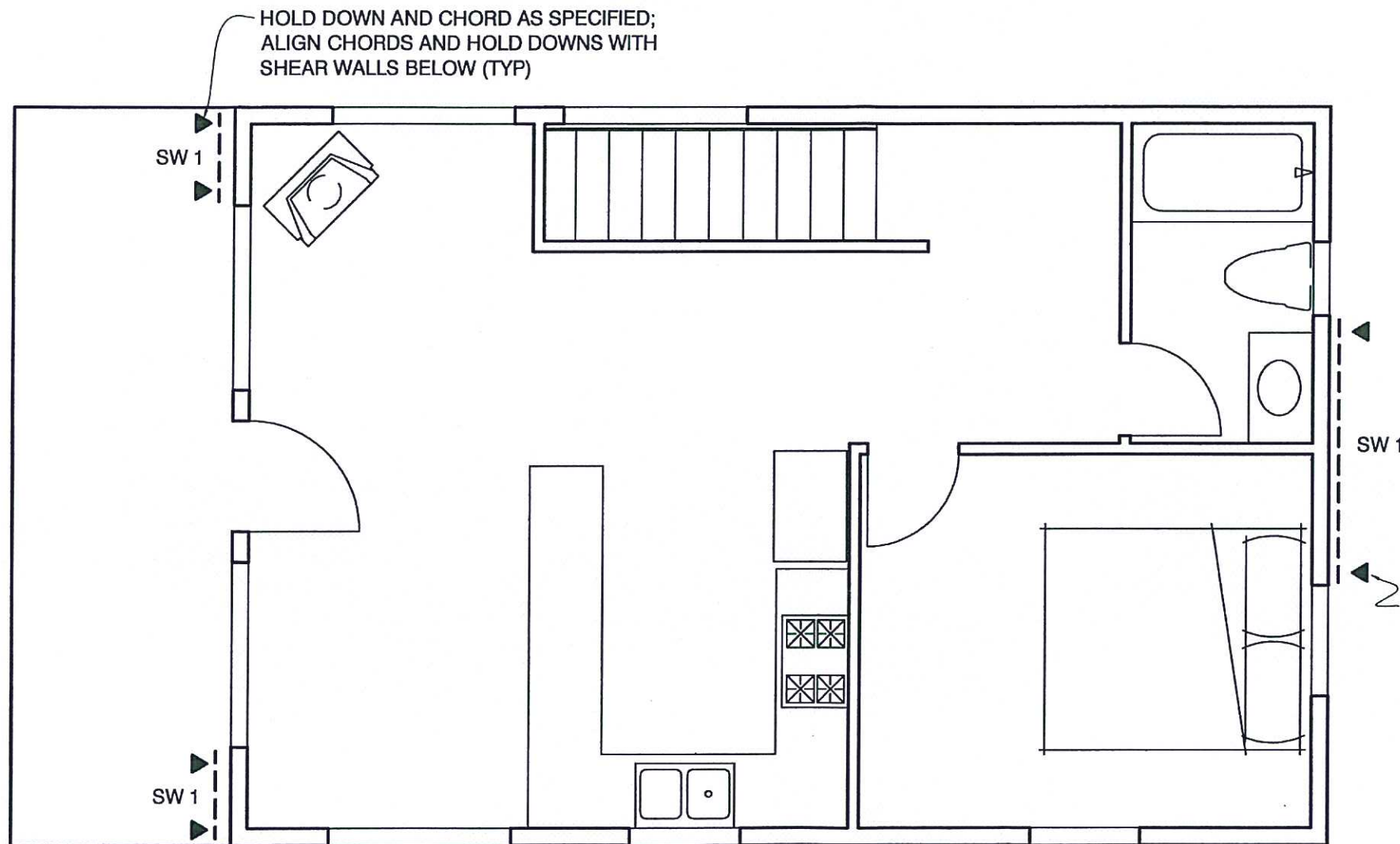
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SHEAR WALL, SW 1 DESIGN

PROVIDE 15/32" SPAN-RATED SHEATHING FASTENED TO FRAMING WITH 0.131x2-1/2 NAILS AT 4" OC AROUND PANEL EDGES AND 12" OC IN FIELD, FULLY BLOCKED

AT ENDS OF SHEAR WALL, PROVIDE FULL-HEIGHT 4x6 DF-L NO.1 CHORDS CONNECTED TO SAME BELOW (FIRST FLOOR) WITH HDU8 ANCHORS AND Ø7/8" THREADED ROD

FASTEN SOLE PLATE TO RIM JOIST / BLOCKING WITH SDS1/4x6 AT 8" OC (ALL EXTERIOR WALLS)

PROVIDE 4x6 CHORD BELOW CONNECTED TO FOUNDATION WITH HDU5 AND SSTB24 ANCHOR

A SECOND FLOOR SHEAR WALLS
SCALE: 1/4" = 1'-0"



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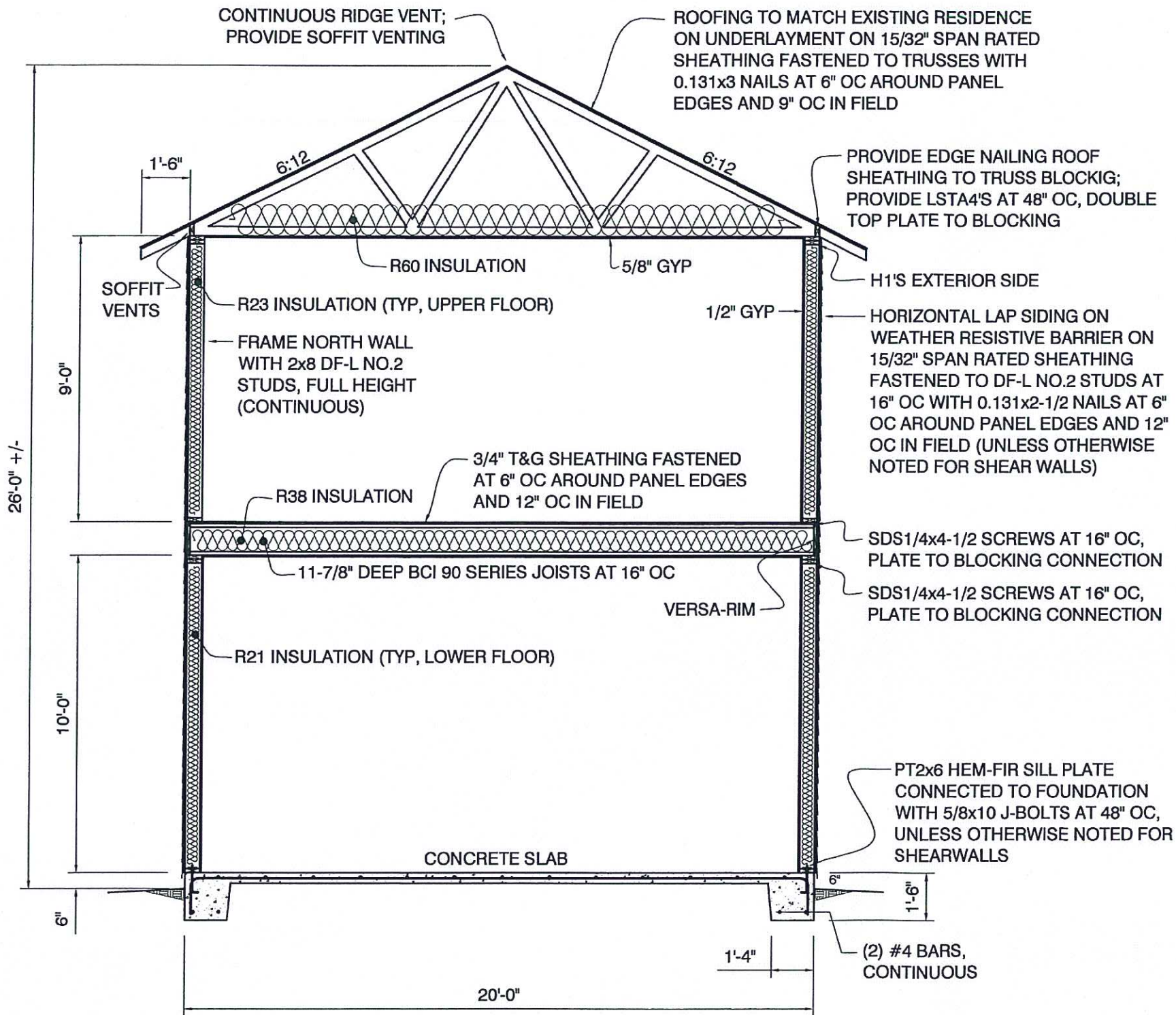
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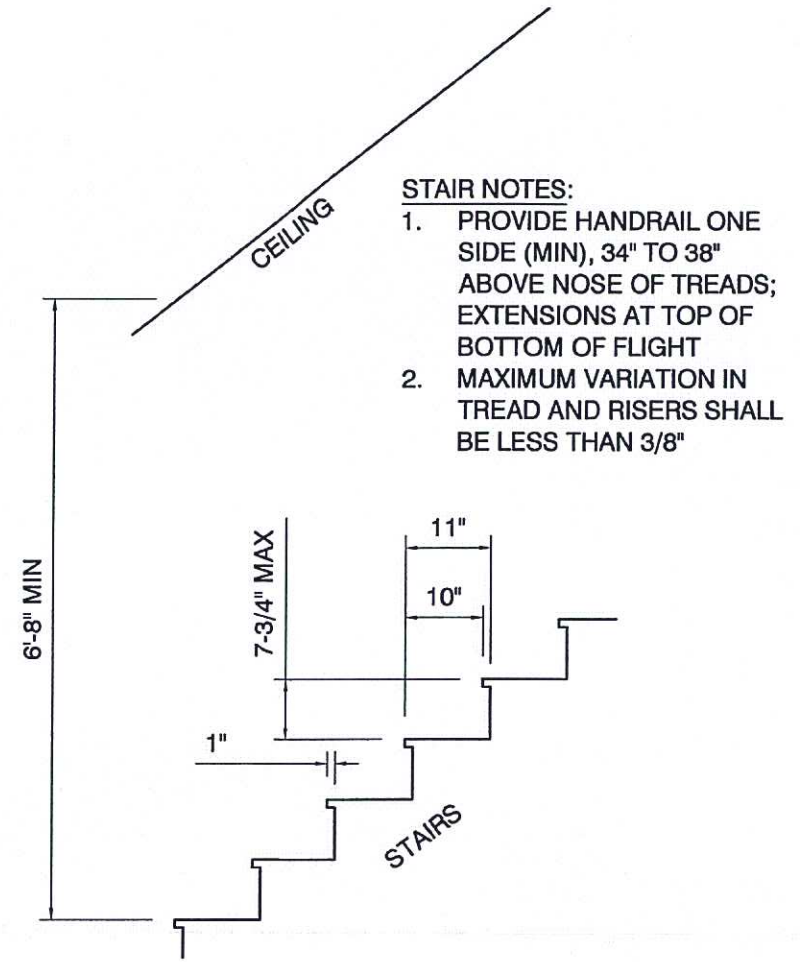




A BUILDING SECTION
SCALE: 1/4" = 1'-0"

ENERGY EFFICIENCY

1. ADDITIONAL MEASURES, ENVELOPE ENHANCEMENT MEASURES; SELECT #3
 - 1.1. R23 WALL INSULATION
 - 1.2. R60 UPPER CEILING INSULATION
 - 1.3. R38 SECOND FLOOR INSULATION
2. ADDITIONAL MEASURES, ENVELOPE ENHANCEMENT MEASURES, CONSERVATION MEASURES
 - 2.1. DUCTLESS HEAT PUMP HSPF 10.0 UPPER FLOOR
3. PROVIDE BAFFLES TO ALLOW FREE AIR FLOW BETWEEN SOFFIT VENTS AND CONTINUOUS RIDGE VENT



B STAIR PROFILE
SCALE: 1/2" = 1'-0"



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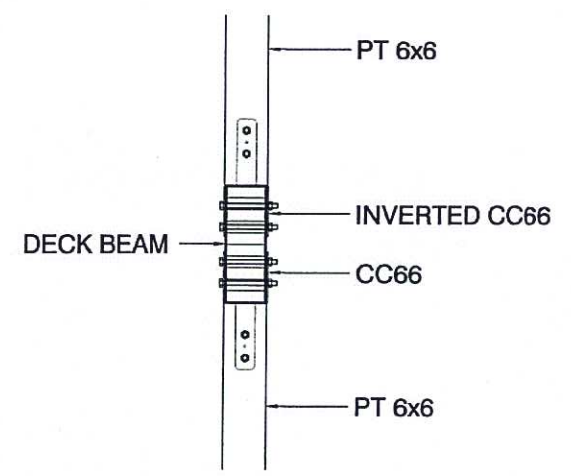
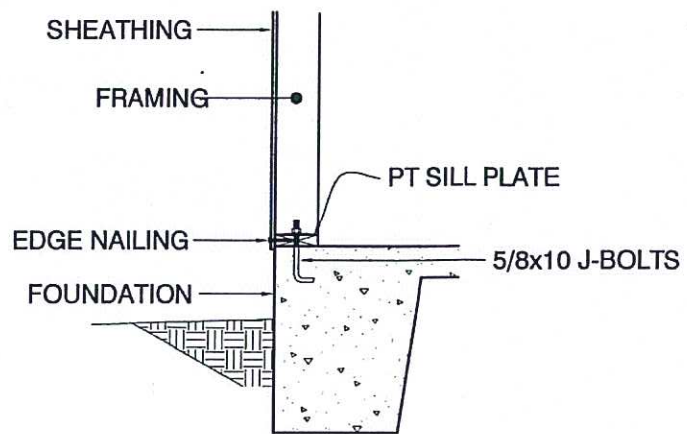
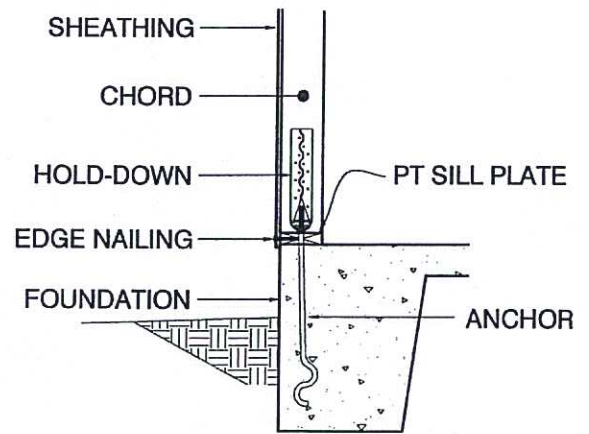
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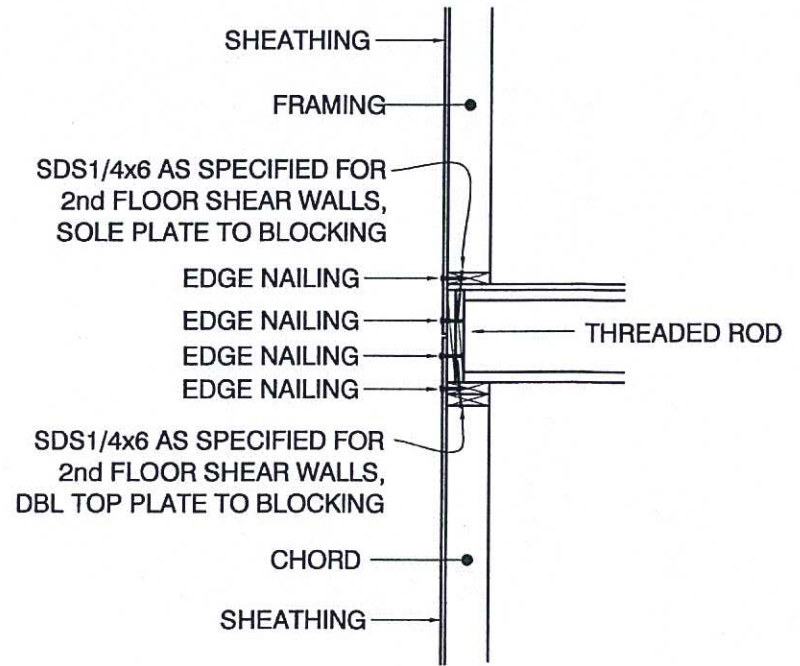
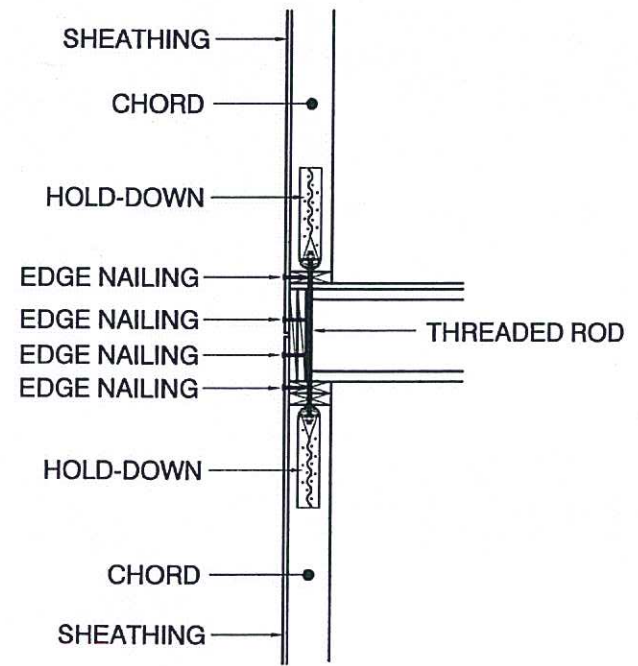
11



DECK BEAM - COLUMN CONNECTION

B

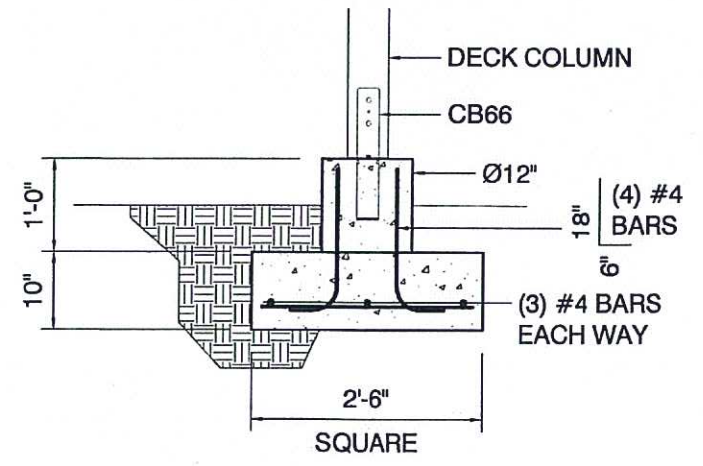
SCALE: 1/2" = 1'-0"



SHEAR WALL CONNECTIONS

A

SCALE: 1/2" = 1'-0"



DECK FOOTING

C

SCALE: 1/2" = 1'-0"



EXPIRES: 6/31/2021