



Planning Permit Application

CITY OF BANDON PLANNING
 P.O. BOX 67
 555 HWY 101
 BANDON, OR 97411
 P:(541) 347-7922
 F:(541)347-1415

Permit Number: 22123

APPLICATION TYPE (select all that apply)		
<input type="checkbox"/> Annexation*	<input type="checkbox"/> Land Use Review*	<input type="checkbox"/> Subdivision*
<input type="checkbox"/> Certificate of Appropriateness (CoA)*	<input type="checkbox"/> Partition*	<input type="checkbox"/> Vacation*
<input type="checkbox"/> Comprehensive Plan or Zone Amendment*	<input type="checkbox"/> Plan Review (PR)	<input type="checkbox"/> Variance*
<input type="checkbox"/> Conditional Use Permit (CUP)*	<input type="checkbox"/> Planned Unit Development (PUD)*	<input checked="" type="checkbox"/> Zoning Compliance (ZC)
<input type="checkbox"/> Floodplain Development*	<input type="checkbox"/> Property Line Adjustment (PLA)*	<input checked="" type="checkbox"/> Other Adjustment _____*
* Pre-application required		Total Fees: \$

I. PROJECT LOCATION			
Street Address: 0 1st Street SE			
Map Number / Tax Lot(s): 28S14W30AD / 3400			
Zone: R1	Floodplain: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

II. APPLICANT'S INFORMATION (applicant is the primary party responsible for development)	
Applicant's Name: Sean and Chanel Brown	Phone: 541-295-9486
	E-Mail: Monkeyhawk71@gmail.com
Applicant's Mailing Address: 639 PINE ST ROGUE RIVER OR 97537-5507	

III. PROPERTY OWNER'S INFORMATION	
Property Owner's Name: Same as above	Phone:
	E-mail:
Mailing Address:	

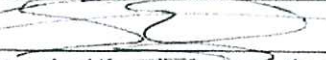
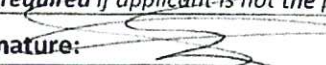
IV. OTHER INFORMATION (APPLICANT'S REP, SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, ETC)			
Title: Representative	Name: Megan Lawrence		
Email: Megan@southcoastconsultingllc.com	Phone: 559-708-8899		
Title: Builder	Name: Hi-Line Homes		
Email:	Phone:		
Title:	Name:		
Email:	Phone:		

V. PROJECT DESCRIPTION	
Use: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Other _____	
*Please attach a short narrative that describes your proposed project and indicates the proposed use.	
<p>Requesting approval to construct a single-family dwelling on the subject property. This application also requests a 10% adjustment to the City of Bandon's minimum side yard setbacks, to accommodate the proposed SFD and detached two car garage. The proposed side yard setbacks are 6' each, for a total side yard setback of 12' which is one foot less than the City's standard 13' requirement. Due to the shape of the subject property and the floor plan of each proposed structure, re-orienting the home and/or garage to accommodate a 13' side yard setback is not possible. An adjustment is necessary to complete the proposed development.</p>	

VI. SITE PLAN: Please see our "How to Create a Site Plan" and sample site plan document for requirements and tips on how to create your site plan. Plans must be drawn to scale and may be submitted electronically; printed copies must be submitted on 11x17, ledger size paper (larger or smaller paper sizes will not be accepted).

VII. PROPERTY OWNER SIGNATURE/AUTHORIZATION

- I have read the application and the attached documentation and I understand that my application may be delayed or deemed incomplete if I have provided insufficient information and documentation to allow for approval.
- I certify that the information provided in this application, including all submittals and attachments, is true and correct to the best of my knowledge.
- I understand and agree that all required inspections will be requested 2 business days in advance, and it is the applicant's responsibility to ensure required inspections have been requested, completed, and approved.
- I authorize the City of Bandon or its acting agent, to enter onto the subject property, as described in section "I. Project location".
- I authorize the following party(s) to act as applicant in regard to the attached application for the subject property described above.



X Applicant's Signature: 	Date: 13DEC22
<i>Property owner's signature required if applicant is not the property owner</i>	
X Property Owner's Signature: 	Date: 13DEC22


Development Disclosure

The City of Bandon is obligated to report all ground disturbances within the City of Bandon to the Coquille Indian Tribe. Property owners and applicants must adhere to all conditions and requirements set out by the Coquille Indian Tribe, State Historic Preservation Office (SHPO) or both if required. Please be aware that state statutes and federal law govern how archaeological sites are to be managed. ORS 97.745 prohibits the willful removal, mutilation, defacing, injury, or destruction of any cairn, burial, human remains, funerary objects, or objects of cultural patrimony of a Native Indian. ORS 358.920 prohibits excavation, injury, destruction, or alteration of an archaeological site or object, or removal of an archaeological object from public or private lands.

It is the property owner and applicant's responsibility to determine if additional permits from other agencies will be required, including but not limited to: Oregon State Building Codes, Oregon State Department of Environmental Quality, FEMA, Oregon State Fish and Wildlife and U.S. Fish and Wildlife. If additional permits are required, it is the responsibility of the property owner/applicant to obtain such permits and comply with their conditions of approval.

It is the property owner/applicant's responsibility to provide the City of Bandon all necessary legal documentation related to the property, including but not limited to: proof of ownership, receipts, deed restrictions, vacation records, easement records, etc.

I acknowledge, understand, and agree, that all relevant documentation will be provided to the City of Bandon, and that all required permits and consent will be obtained prior to the start of construction, with all conditions of approval adhered to.	
X 	13DEC22
<i>Property Owner's Signature (Property owner's signature required if applicant is not the property owner)</i>	Date
X 	13DEC22
<i>Applicant's Signature</i>	Date

Staff's Signature of Intake:  Date: 12/15/2022

Staff's Signature of Completeness: _____ Date: _____

Staff's Signature of Approval: _____ Date: _____

Submittal Requirements:

1. Completed Pre-Application with summary notes from the Planning Department (if applicable)
2. Complete Planning Permit application (including fees and applicable property records)
3. Signed Development Disclosure
4. Completed Submittal Requirement sheet

Site Plan Requirements (please check that you have completed each of the following)

- Setbacks on all sides of the property (must be marked from the closest structure to the property line)
- Property line must be clearly marked on all sides - if property corners cannot be determined a survey will be required.
- Location of all buildings and proposed building or addition
- Location of all mechanical equipment and proposed equipment (HVAC, propane tanks and enclosures - these cannot be located in the setback area)
- Fences, patios, sidewalks, (if being built along with the construction of a building)
- Decks, steps, porches (these cannot be located in the setback)
- All off-street parking
- Location of the front entrance and all exterior doorways
- Location & material of the driveway
- Direction of roof drainage
- Drywell, if required (must be engineered)
- Location of electric meter base (on the front or no farther than 5 feet down the side)
- Proposed water and sewer line locations
- Water shut off valve must be located beside the water meter box; 6" sewer clean out must be at the property line
- Square footage of the lot, structures including garage (1st & 2nd floors noted separately), and percentage of impermeable surface. (Impermeable surfaces must be shown on the site plan)

Design Feature Requirements (Please check your selections)

Homes in the R-1 and R-2 zones require a minimum of 6 (at least 3 on the face of the home)

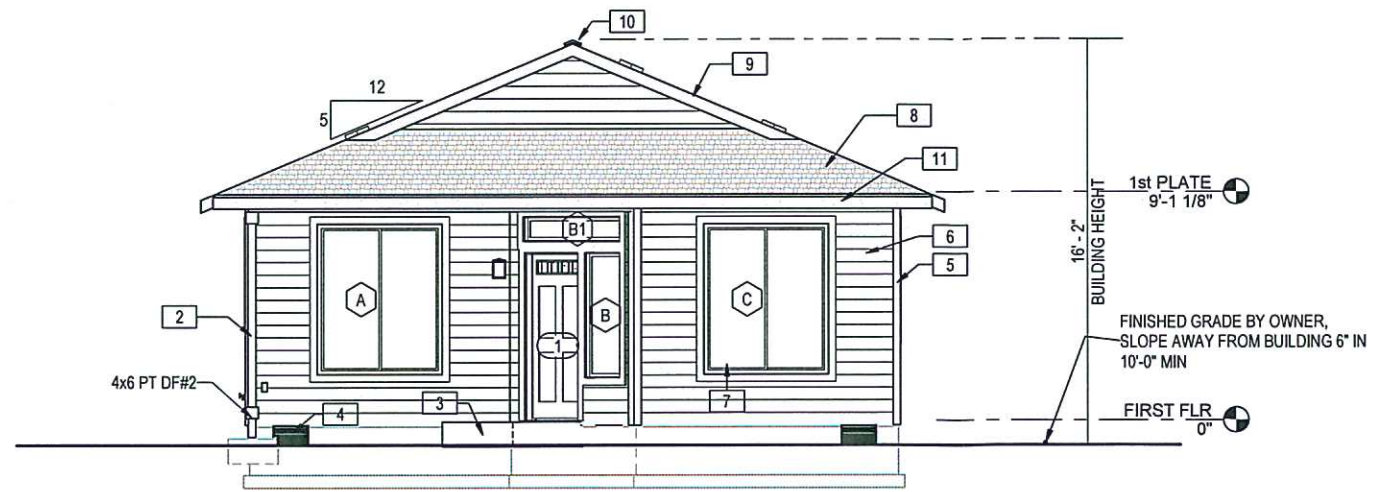
Homes in the CD zones require a minimum of 8 (at least 4 on the face of the home)

- | | |
|--|--|
| <input checked="" type="checkbox"/> Roof pitch at or greater than 3/12 | <input type="checkbox"/> Bay windows |
| <input type="checkbox"/> Covered porch - (minimum of 25 square feet) | <input type="checkbox"/> Cupolas |
| <input checked="" type="checkbox"/> Tile or Architectural grade shingles (not composition shingle) | <input type="checkbox"/> Hip roof |
| <input checked="" type="checkbox"/> Off set of the building face or roof (at least one foot, minimum of 2 feet in cd-1 & cd-2 zones) | <input checked="" type="checkbox"/> Pillars or posts |
| <input checked="" type="checkbox"/> Eaves with a minimum projection of six (6) inches | <input type="checkbox"/> Mullioned windows |
| <input checked="" type="checkbox"/> Horizontal lap siding, cedar shake or shingle on 100% of the exterior | <input type="checkbox"/> Window shutters |
| <input type="checkbox"/> Recessed entry area (minimum depth of three feet) | <input type="checkbox"/> Clerestory windows |
| <input checked="" type="checkbox"/> Garage (constructed with exterior finish materials matching the residence) | <input type="checkbox"/> Dormers |
| <input type="checkbox"/> Combination of cedar shake and shingle siding or lap siding with stone | <input checked="" type="checkbox"/> Gables |

Additional Required Plans

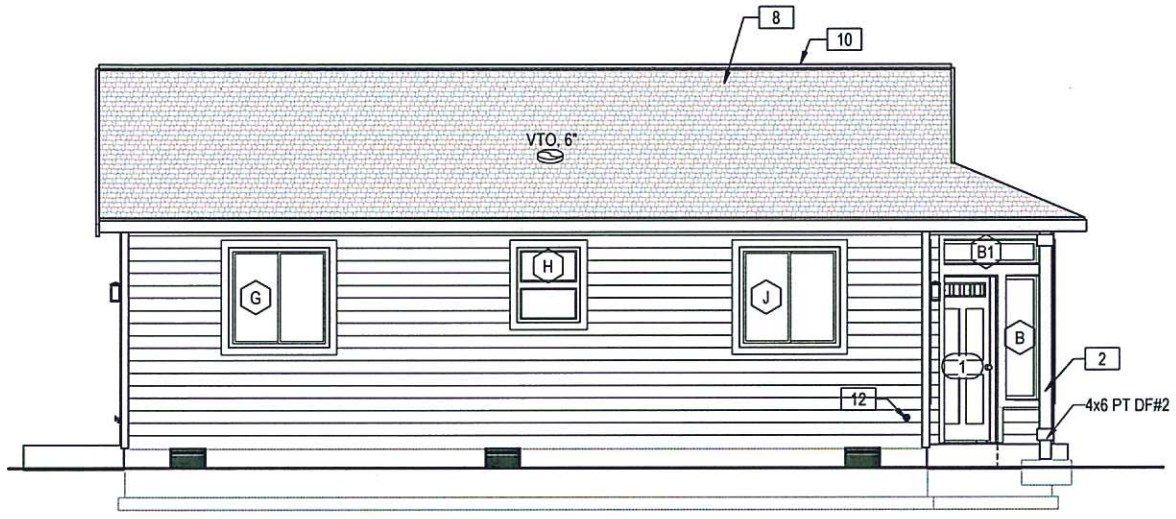
- Floor plan - Including garage (before and after drawings must be included for remodel/additions)
- Elevation of all structures - All sides must show direction, dimensions, height, design features and depth of eaves/gutters.
- Grade of property and/or grading plan
- Foundation plan for all construction - (for a manufactured home the slab & runner system)
- DEQ septic system permit & plan drawings - (if applicable)
- Geotechnical report - (if applicable)
- Drainage plan - (with engineered drawings if applicable)
- Engineered foundation - (if applicable)

YOUR APPLICATION WILL BE DEEMED INCOMPLETE IF YOUR SITE PLAN FAILS TO LIST ALL REQUIRED INFORMATION, INCLUDING DESIGN FEATURE REQUIREMENTS WHICH MUST ALSO BE SHOWN IN YOUR SUBMITTED ELEVATION PLANS.

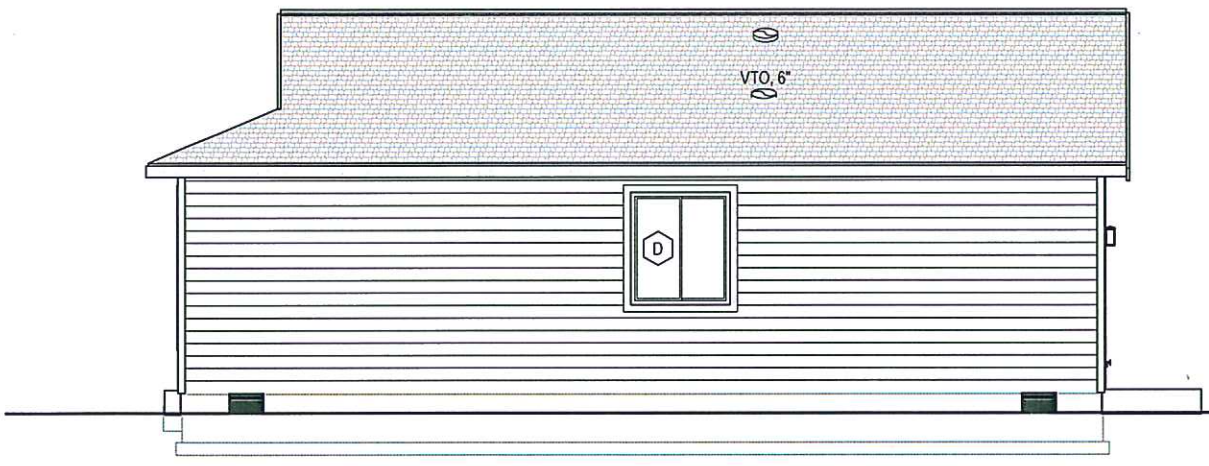


1 FRONT ELEVATION
1/4" = 1'-0"

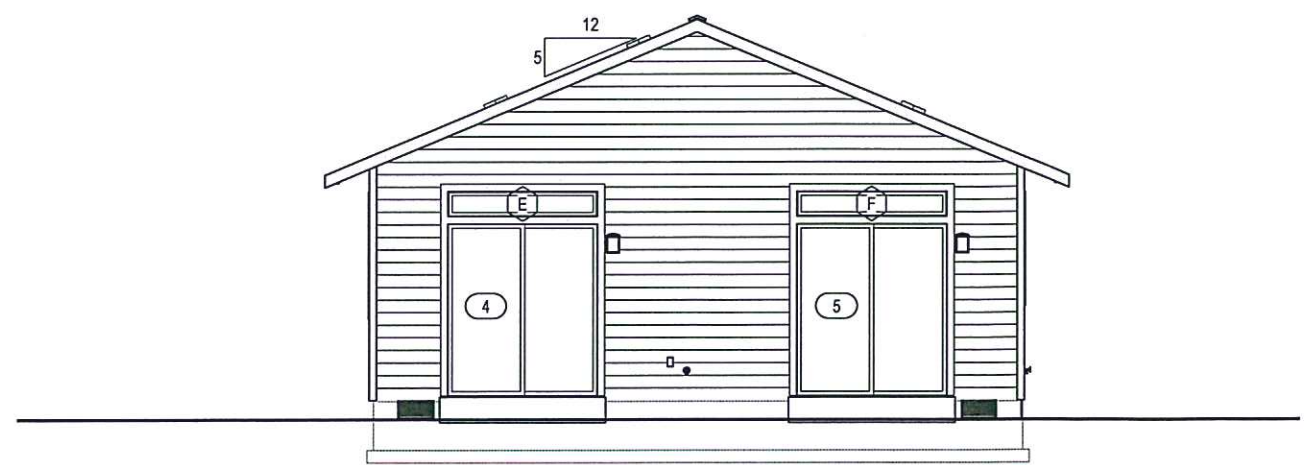
KEYNOTE LEGEND	
KEY	DESCRIPTION
1	FINISHED GRADE BY OWNER, SLOPE AWAY FROM BUILDING 6" IN 10'-0" MIN
2	POST & BEAM WRAPPED W/ FIBER CEMENT SIDING
3	STOOP BY OWNER, WIDTH NOT LESS THAN DOOR, MIN 36" IN DIRECTION OF TRAVEL, MAX SLOPE 2%, (IRC: MAX 7-3/4") (ORSC: MAX 8") DROP BELOW TOP OF THRESHOLD (IRC R311.3, R311.7, R311.8) (ORSC, R311.3)
4	FOUNDATION VENT, 8"x16"
5	5/4x4 CORNER TRIM, TYP
6	CEMENT LAP SIDING, WATER RESISTANT BARRIER (R703.2), SHEATHING PER STRUCT, R-23 INSUL, 2x6 STUDS @ 16" OC
7	5/4x4 DOOR AND WINDOW TRIM
8	COMPOSITION SHINGLES-CLASS 'B' MIN, OVER 15# FELT, OVER SHEATHING PER STRUCT
9	2x6 BARGE BOARD W/ METAL DRIP EDGE
10	RIDGE VENTING, LENGTH AND LOCATION PER ROOF FRAMING PLAN, CALCS PER ATTIC VENTILATION SCHEDULE, CUT SHEATHING 1" FROM PEAK, BOTH SIDES
11	5/4x6 FASCIA/BAND BOARD
12	HOSE BIB, TYP



2 LEFT ELEVATION
1/4" = 1'-0"



3 RIGHT ELEVATION
1/4" = 1'-0"



4 BACK ELEVATION
1/4" = 1'-0"

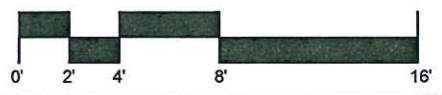
WINDOW SCHEDULE									
#	QTY	WIDTH	HEIGHT	TYPE	COMMENTS	GRID	EGRESS	OBSCURE GLAZING	SAFETY GLAZING (TEMPERED)
A	1	5'-0"	6'-0"	HORIZ SLIDER					
B	1	2'-0"	5'-0"	FIXED, SIDELITE					
B1	1	5'-6"	1'-0"	FIXED, TRANSOM					
C	1	5'-0"	6'-0"	HORIZ SLIDER					
D	1	4'-0"	4'-6"	HORIZ SLIDER					
E	1	6'-0"	1'-0"	FIXED, TRANSOM					
F	1	6'-0"	1'-0"	FIXED, TRANSOM					
G	1	4'-0"	4'-0"	HORIZ SLIDER					
H	1	2'-6"	3'-0"	SINGLE HUNG				■	■
J	1	4'-0"	4'-0"	HORIZ SLIDER					
Grand total: 10									

- ELEVATION NOTES**
- HOMEOOWNER IS RESPONSIBLE FOR DESIGN AND INSTALLATION OF ALL DECKS AND PATIOS INCLUDING THOSE UNDER COVERED AREAS. ALL DECKS AND PATIOS SHALL BE DESIGNED AND BUILT IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES.
 - EXTERIOR APPEARANCE WILL VARY BY SIDING CHOICE, MATERIAL AVAILABILITY AND BUILDER DISCRETION.
 - ADDRESS MUST BE LOCATED ON THE HOUSE WHERE IT IS EASILY SEEN FROM THE MAIN ACCESS ROAD, SEE TITLE SHEET - SITE ADDRESS, (OWNER RESPONSIBILITY) updated 07/18/22

ELEV/SECT SYMBOL LEGEND

	KEYNOTE SYMBOL
	FOOTING PAD SYMBOL
	CONT FOOTING SYMBOL
	STRUCTURAL WALL
	EXHAUST VENT, SEE PLAN FOR SIZE

updated 07/18/22



STAMP:
ENGINEER:
ABDELOUAHAB (Wahab) Abrous, Ph. D., P.E.
HILINE Homes Inc.
Design & Engineering Department

SITE ADDRESS
TBD 1ST SE
BANDON, OR 97411

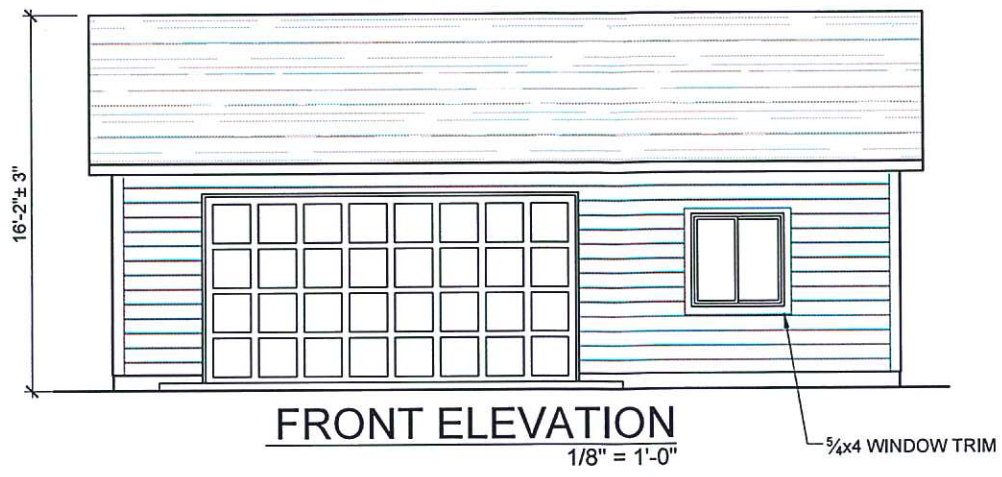
CUSTOMER:
SEAN & CHANEL BROWN

SHEET:
ELEVATIONS

HILINE
11306 62n
PUYALLUP
(253) 770-2

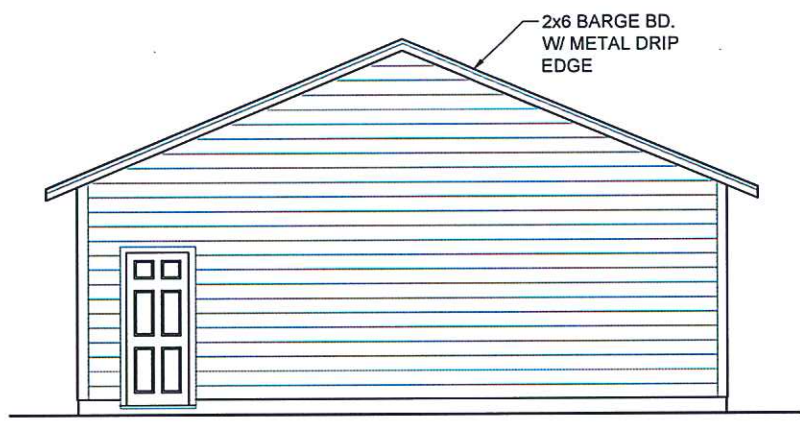
PLAN:
DATE:
JOB #:
DRAWN BY:
NUMBER:

A

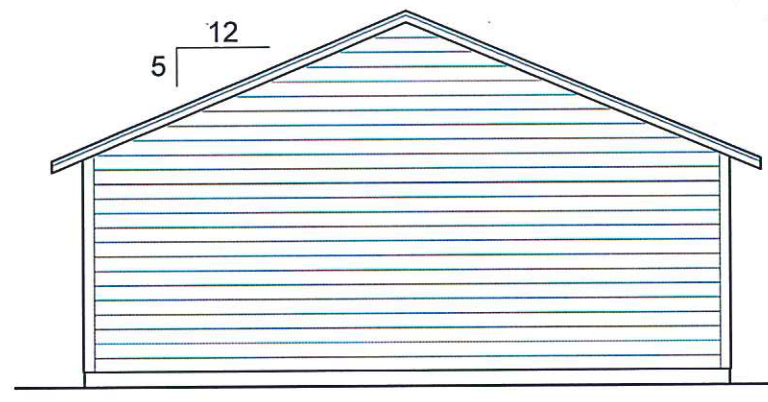


FRONT ELEVATION
1/8" = 1'-0"

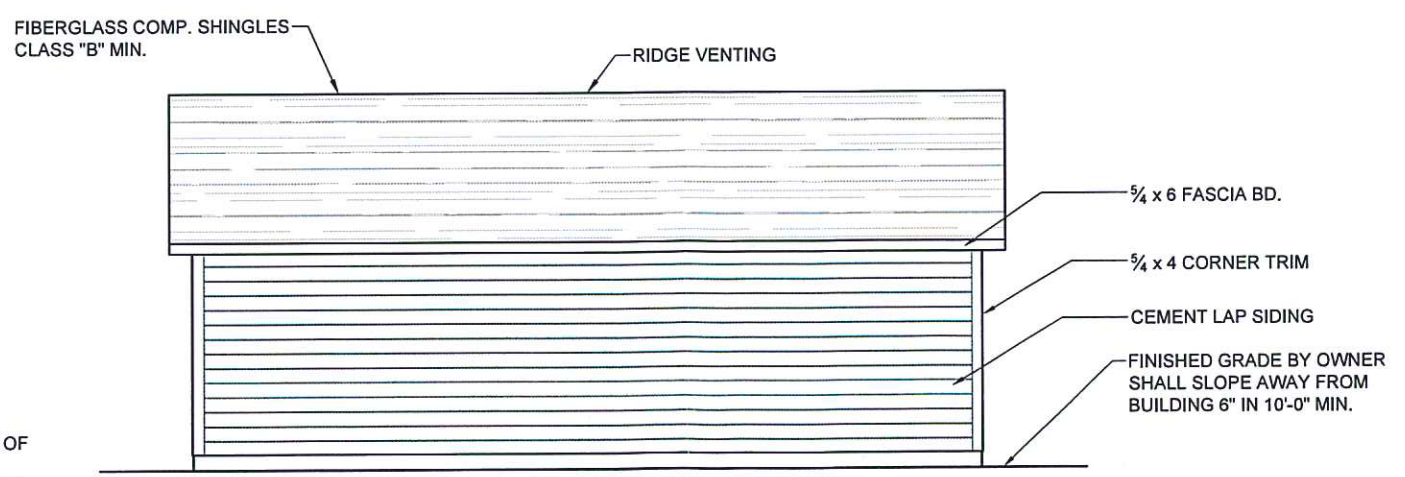
NOTE:
ADDRESS MUST BE LOCATED
ON THE HOUSE WHERE IT IS EASILY
SEEN FROM THE MAIN ACCESS ROAD
(OWNER RESPONSIBILITY)



RIGHT ELEVATION
1/8" = 1'-0"



LEFT ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"

- NOTE:
1. HOMEOWNER IS RESPONSIBLE FOR DESIGN AND INSTALLATION OF ALL DECKS AND PATIOS INCLUDING THOSE UNDER COVERED AREAS. ALL DECKS AND PATIOS SHALL BE DESIGNED AND BUILT IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES.
 2. EXTERIOR APPEARANCE WILL VARY BY SIDING CHOICE, MATERIAL AVAILABILITY, AND BUILDER DISCRETION.



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SITE ADDRESS:

TBD 1ST ST SE
BANDON, OR 97411
PARCEL # 28S14W30AD/3400
REVISIONS:

CUSTOMER:

SEAN & CHANEL BROWN
639 PINE ST
ROGUE RIVER, OR 97537
(541) 295-9466

EXTERIOR ELEVATIONS

HILINE HOMES
11306 62ND AVENUE
PUYALLUP WA, 98373
(253) 770-2244 ext. 129

PLAN: 952GR
DATE: 09/13/2022
JOB#: 2002-2226



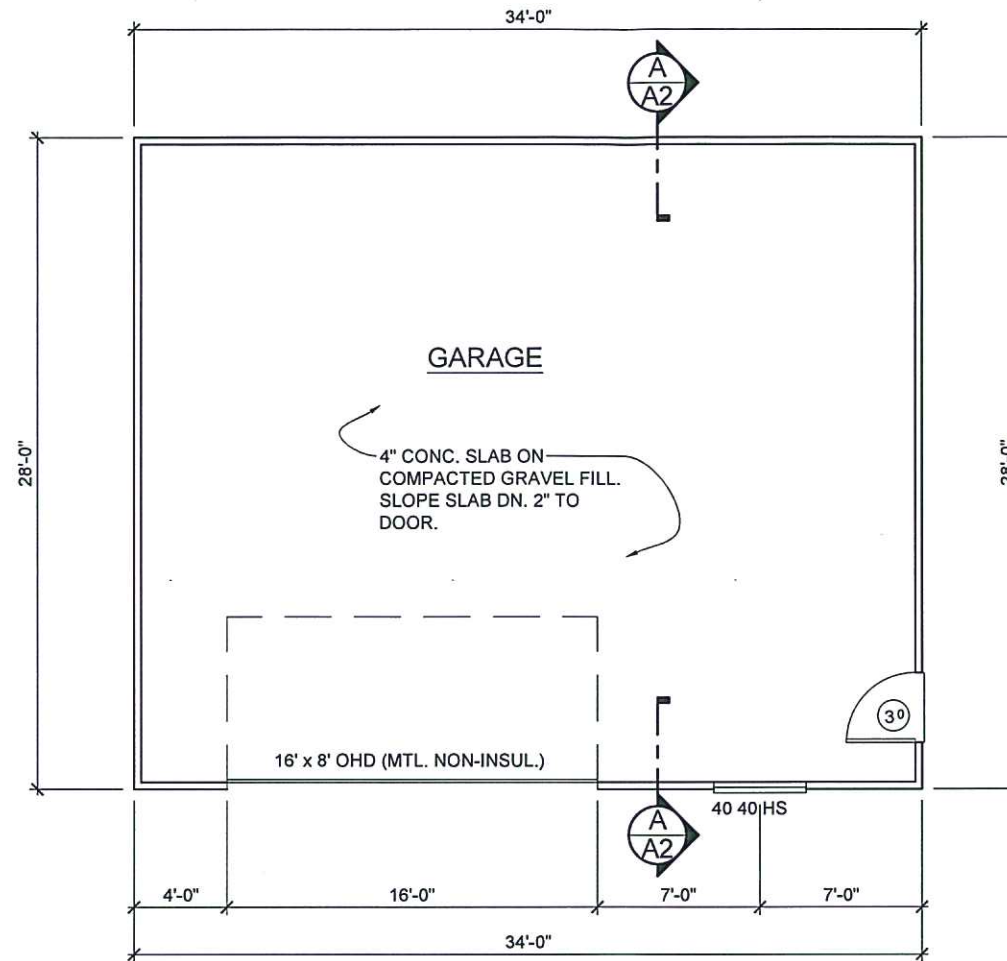
NOTE:

1. DESIGN AND INSTALLATION OF ALL EXTERIOR DECKS, STEPS, STAIRS, LANDINGS, PATIOS, PORCHES, RAILINGS, HAND RAILINGS, GRAB RAILS, WALKING SURFACES, STOOPS, APRONS, AND DRIVING SURFACES LOCATED OUTSIDE OF THE HABITABLE SPACES OF THE HOMES ARE THE HOMEOWNERS SOLE RESPONSIBILITY UNLESS OTHERWISE SPECIFIED IN THE CONSTRUCTION AGREEMENT. IF THE HOMEOWNER INSTALLS AN EXTERIOR DECK OR PATIO NEAR OR AGAINST THE SIDING, OWNER SHALL INSTALL PROPER FLASHING TO PREVENT MOISTURE INTRUSION OR DAMAGE. DECKS OR PATIOS MUST BE INSTALLED AFTER THE SHEET ROCK PHASE AND BEFORE FINAL INSPECTION AND SHALL BE DESIGNED AND BUILT IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES. ANY PORCH COVERS PROVIDED BY HILINE WILL ONLY INCLUDE THE ROOF STRUCTURE.

*ALL EXTERIOR DOORS TO HAVE THRESHOLD SUPPORT PER DETAIL 7 ON SHEET A4.

LEGEND

- (A) = 22"X30" INSULATED ATTIC ACCESS W/ WEATHERSTRIPPING
- (HB) = HOSE BIB
- HS = HORIZONTAL SLIDER WINDOW
- SH = SINGLE HUNG WINDOW
- FIX = FIXED WINDOW
- S.G. = SAFETY GLAZING



SITE ADDRESS:

TBD 1ST ST SE
BANDON, OR 97411
PARCEL # 28S14W30AD/3400
REVISIONS:

CUSTOMER:

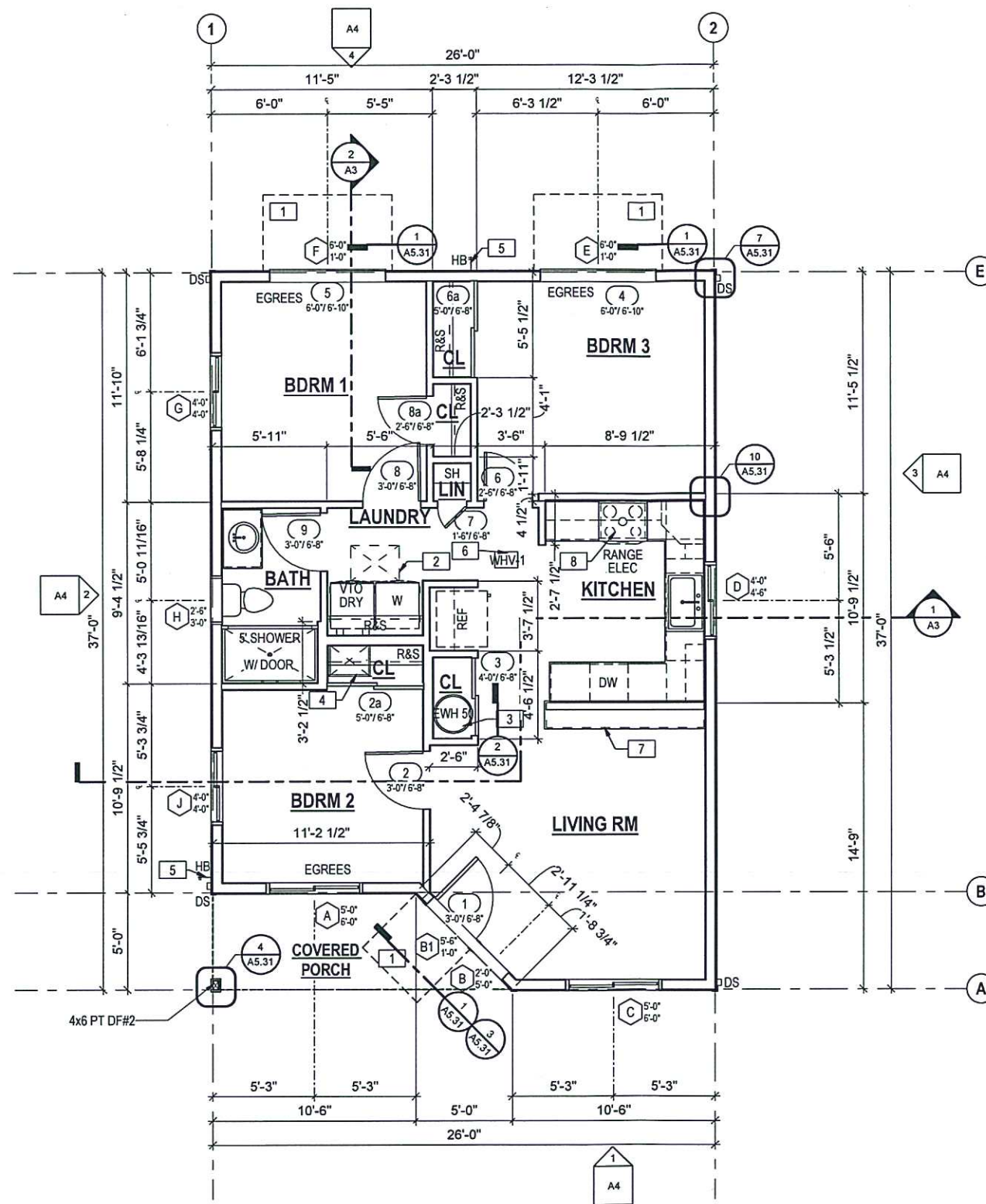
SEAN & CHANEL BROWN
 639 PINE ST
 ROGUE RIVER, OR 97537
 (541) 295-9466

FLOOR PLAN

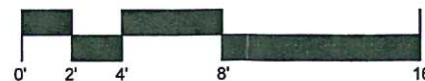
HILINE HOMES
 11306 62ND AVENUE
 PUYALLUP WA, 98373
 (253) 770-2244 ext. 129

PLAN: 952GR
 DATE: 09/13/2022
 JOB#: 2002-2226

A1



1 FIRST FLOOR PLAN
1/4" = 1'-0"



KEYNOTE LEGEND	
KEY	DESCRIPTION
1	STOOP BY OWNER, WIDTH NOT LESS THAN DOOR, MIN 36" IN DIRECTION OF TRAVEL, MAX SLOPE 2%, (IRC: MAX 7-3/4") (ORSC: MAX 8") DROP BELOW TOP OF THRESHOLD (IRC R311.3, R311.7, R311.8) (ORSC, R311.3)
2	22"x30" INSULATED ATTIC ACCESS W/ WEATHERSTRIPPING, INSULATE PER SURROUNDING AREA
3	50 GAL WATER HEATER, ELECTRIC
4	18"x24" INSULATED CRAWL ACCESS W/ WEATHERSTRIPPING, INSULATE PER SURROUNDING AREA
5	HOSE BIB, TYP
6	ERV UNIT FRESH AIR & EXHAUST VTO
7	BAR HEIGHT COUNTER TOP WITH 12" OVERHANG
8	RANGE HOOD WITH LIGHT, VTO

GENERAL PLAN NOTES

- DIMENSIONS ARE TO GRID, FACE OF STUD OR FACE OF CONCRETE.
- FOR DOOR, WINDOW & ROOM SCHEDULES, SEE ARCHITECTURAL SCHEDULES SHEET.
- FOR STRUCTURAL DRAWINGS AND DETAILS, SEE THE 'S' SHEETS.
- FOR ELECTRICAL DRAWINGS, SEE THE 'E' SHEETS.
- IF PROVIDED: GAS FURNACE AND/OR WATER HEATER, SET MINIMUM 18" ABOVE SLAB PER IRC. PROVIDE WATER HEATER SEISMIC STRAPPING PER SDC D0, D1, D2.
- AT TWO STORY HOMES: IF LIVING SPACE ABOVE GARAGE, PROVIDE 5/8" TYPE 'X' GWB ON GARAGE CEILING.
- FOR WINDOW WRAP, SEE ARCHITECTURAL DETAIL SHEETS.
- DESIGN AND INSTALLATION OF ALL EXTERIOR DECKS, STEPS, STAIRS, LANDINGS, PATIOS, PORCHES, RAILINGS, HAND RAILS, WALKING SURFACES, STOOPS, APRONS, AND DRIVING SURFACES OF THE HOME ARE THE HOMEOWNERS SOLE RESPONSIBILITY UNLESS OTHERWISE SPECIFIED IN THE CONSTRUCTION AGREEMENT. IF THE HOMEOWNER INSTALLS AN EXTERIOR DECK OR PATIO NEAR OR AGAINST THE SIDING, OWNER SHALL INSTALL PROPER FLASHING TO PREVENT MOISTURE INTRUSION OR DAMAGE. DECKS OR PATIOS MUST BE INSTALLED AFTER THE SHEET ROCK PHASE AND BEFORE FINAL INSPECTION AND SHALL BE DESIGNED AND BUILT IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODED. ANY PORCH COVERS PROVIDED BY HILINE WILL ONLY INCLUDE THE ROOF STRUCTURE.

updated 07/15/22

ARCHITECTURAL SYMBOL LEGEND	
	2x STUD WALL (INTERIOR)
	NON-STRUCTURAL FULL HEIGHT WALL, TO UNDERSIDE OF SCISSOR TRUSS
	EWH ELECTRIC OR GAS WATER HEATER, PROVIDE SEISMIC STRAPPING PER SDC D0, D1, D2, SEE ATTACHED DETAIL
	GF ELECTRIC OR GAS FURNACE
NOTE: GAS FURNACE AND WATER HEATER, MINIMUM 18" ABOVE SLAB PER IRC OR ORSC	
	KEYNOTE SYMBOL
	SAFETY GLAZING
	HOSE BIB
	DOWNSPOUT
	EXHAUST VENT, SEE PLAN FOR SIZE

updated 07/18/22



STAMP:
ENGINEER: ABDELOUAHAB (Wahab) Abrous, Ph. D., P.E.
HiLine Homes Inc.
Design & Engineering Department

SITE ADDRESS: TBD 1ST SE BANDON, OR 97411

CUSTOMER: SEAN & CHANEL BROWN

SHEET: FIRST FLOOR PLAN
HILINE 11306 62r PUYALLUI (253) 770-2
PLAN: DATE: JOB #: DRAWN BY: NUMBER:

A