



# Planning Permit Application

CITY OF BANDON PLANNING  
P.O. BOX 67  
555 HWY 101  
BANDON, OR 97411  
P:(541) 347-2437  
F:(541)347-1415

Permit Number: **21-059**

<b>APPLICATION TYPE (select all that apply)</b>		
<input type="checkbox"/> Annexation*	<input type="checkbox"/> Land Use Review*	<input type="checkbox"/> Subdivision*
<input type="checkbox"/> Certificate of Appropriateness (CoA)*	<input type="checkbox"/> Partition*	<input type="checkbox"/> Vacation*
<input type="checkbox"/> Comprehensive Plan or Zone Amendment*	<input type="checkbox"/> Plan Review (PR)	<input type="checkbox"/> Variance*
<input checked="" type="checkbox"/> Conditional Use Permit (CUP)*	<input type="checkbox"/> Planned Unit Development (PUD)*	<input type="checkbox"/> Zoning Compliance (ZC)
<input type="checkbox"/> Floodplain Development*	<input type="checkbox"/> Property Line Adjustment (PLA)*	<input type="checkbox"/> Other _____*
* Pre-application required		Total Fees: \$

<b>I. PROJECT LOCATION</b>		
Street Address: SEABIRD DRIVE & OREGON COAST HIGHWAY 101		
Map Number / Tax Lot(s): 1402, PARCEL 2 /	Zone: C-2	Floodplain: <input type="checkbox"/> Yes <input type="checkbox"/> No

<b>II. APPLICANT'S INFORMATION</b> (applicant is the primary party responsible for development)		
Applicant's Name: DAVID E. WALDRON - ARCHITECT	Phone: 541-588-0917	E-Mail: davidwaldron.waldron@gmail.com
Applicant's Mailing Address: 1465 SW KNOLL AVE. #102, BEND, OR. 97702		

<b>III. PROPERTY OWNER'S INFORMATION</b>		
Property Owner's Name: BENTLY, LLC - JIM M. MURRAY JR.	Phone: 541-788-2797	E-mail: jmmjr808@gmail.com
Mailing Address: 4837 COHO LANE, WEST LINN, OR. 97068		

<b>IV. OTHER INFORMATION (APPLICANT'S REP, SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, ETC)</b>		
Title: PRINCIPAL	Name: ALEX M. PALM - CIVIL ENGINEER	
Email: Palm@ieengineering.com	Phone: 541-784-8695	
Title: PRINCIPAL	Name: JOE BESSMAN	
Email: joe@transightconsulting.com	Phone: 503-997-4473	
Title: PRINCIPAL	Name: SUE MATHIS - LANDSCAPE ARCHITECT	
Email: sue.mathis.landscape@hmail.com	Phone: 661-256-4261	

<b>V. PROJECT DESCRIPTION</b>		
Use: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Other multi-family _____		
*Please <u>attach</u> a short narrative that describes your proposed project and indicates the proposed use.		
SEE THE ATTACHED PROJECT NARRATIVE		

**VI. SITE PLAN:** Please see our "How to Create a Site Plan" and sample site plan document for requirements and tips on how to create your site plan. Plans must be drawn to scale and may be submitted electronically; **printed copies must be submitted on 11x17, ledger size paper (larger or smaller paper sizes will not be accepted).**

**VII. PROPERTY OWNER SIGNATURE/AUTHORIZATION**

- I have read the application and the attached documentation and I understand that my application may be delayed or deemed incomplete if I have provided insufficient information and documentation to allow for approval.
- I certify that the information provided in this application, including all submittals and attachments, is true and correct to the best of my knowledge.
- I understand and agree that all required inspections will be requested 2 business days in advance, and it is the applicant's responsibility to ensure required inspections have been requested, completed, and approved.
- I authorize the City of Bandon or its acting agent, to enter onto the subject property, as described in section "I. Project location".
- I authorize the following party(s) to act as applicant in regard to the attached application for the subject property described above.

**X Applicant's Signature:** Paul S. Walden Date: 4.30-21

*Property owner's signature required if applicant is not the property owner*

**X Property Owner's Signature:** [Signature] Date: 4-30-2021

**Development Disclosure**

The City of Bandon is obligated to report all ground disturbances within the City of Bandon to the Coquille Indian Tribe. Property owners and applicants must adhere to all conditions and requirements set out by the Coquille Indian Tribe, State Historic Preservation Office (SHPO) or both if required. Please be aware that state statutes and federal law govern how archaeological sites are to be managed. ORS 97.745 prohibits the willful removal, mutilation, defacing, injury, or destruction of any cairn, burial, human remains, funerary objects, or objects of cultural patrimony of a Native Indian. ORS 358.920 prohibits excavation, injury, destruction, or alteration of an archaeological site or object, or removal of an archaeological object from public or private lands.

It is the property owner and applicant's responsibility to determine if additional permits from other agencies will be required, including but not limited to: Oregon State Building Codes, Oregon State Department of Environmental Quality, FEMA, Oregon State Fish and Wildlife and U.S. Fish and Wildlife. If additional permits are required, it is the responsibility of the property owner/applicant to obtain such permits and comply with their conditions of approval.

It is the property owner/applicant's responsibility to provide the City of Bandon all necessary legal documentation related to the property, including but not limited to: proof of ownership, receipts, deed restrictions, vacation records, easement records, etc.

**I acknowledge, understand, and agree, that all relevant documentation will be provided to the City of Bandon, and that all required permits and consent will be obtained prior to the start of construction, with all conditions of approval adhered to.**

**X** [Signature] 4.30.2021

*Property Owner's Signature (Property owner's signature required if applicant is not the property owner)* Date

**X** Paul S. Walden 4.30-21

*Applicant's Signature* Date

Staff's Signature of Intake: E. Monte Date: 5-6-21

Staff's Signature of Completeness: \_\_\_\_\_ Date: \_\_\_\_\_

Staff's Signature of Approval: \_\_\_\_\_ Date: \_\_\_\_\_



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 P.O. BOX 67  
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## Conditional Use Form

Supplemental to Planning Permit Application

**I. Findings of Fact:** Conditional Use Permits may be approved if the Planning Commission finds that the applicant has shown that approval standards A through H of the Bandon Municipal Code (BMC), listed below, have been met. The burden of proof is on the applicant to show how the request meets the approval standards and code provisions. A written response to all applicable approval standards and provisions must be part of your application. If a standard or provision is not applicable to your request, explain why. Attach as many sheets of paper as necessary; be sure to address each standard and provision.

*Approval standards for conditional uses (BMC 17.92.040)*

The approval of all conditional uses shall be consistent with:

- A. The Comprehensive Plan;
- B. The purpose and dimensional standards of the zone except as those dimensional standards have been modified in authorizing the conditional use permit.
- C. That the site size and dimensions provide adequate area for the needs of the proposed use;
- D. That the site size and dimensions provide adequate area for aesthetic design treatment to mitigate possible adverse effect from the use of surrounding properties and uses;
- E. The characteristics of the site are suitable for the proposed use considering size, shape, location, topography and natural features;
- F. All required public facilities and services have adequate capacity to serve the proposal, and are available or can be made available by the applicant;
- G. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or precludes the use of surrounding properties for the permitted uses listed in the underlying zoning district;
- H. All other requirements of this title that apply.

<b>1. Project Description:</b>	
(Please check all that apply)	Additions to Building:
<input type="checkbox"/> Change of Use	<input type="checkbox"/> Rear
<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Front
<input type="checkbox"/> Alterations	<input type="checkbox"/> Height
<input type="checkbox"/> Other:	<input type="checkbox"/> Side Yard
Present Use:	NONE
Proposed Use:	APARTMENT CONSTRUCTION

In addition to this completed form, the applicant must provide the following:

- A completed Planning Permit Application: Conditional Use Permit. (Pre-application required)
- Written Findings of Fact addressing all approval standards and provisions.
- Other information deemed necessary by the Planning Director to allow review of the applicant's proposal.
- Payment of applicable review fees, which can be found on the City's web page.

I hereby certify that the statements contained herein are in all respects true and correct to the best of my knowledge and belief.

X	4-19-21
Property Owner's Signature	Date
X	4-19-2021
Applicant's Signature	Date

AN ELECTRONIC COPY OF THIS FORM IS ACCEPTABLE FOR THE PURPOSE OF FILING AN APPLICATION. HOWEVER, THE ORIGINAL WILL BE REQUIRED PRIOR TO FINAL APPROVAL.



ARCHITECTURE - CONSTRUCTION - INTERIOR DESIGN - DEVELOPMENT

DAVID E. WALDRON

## TRANSMITTAL:

**TO:** BANDON PLANNING  
COMMISSION

**FROM:** DAVID WALDRON AND  
ASSOCIATES – ARCHITECTS

**CO.** CITY OF BANDON

**DATE:** 5/5/2021

**RE:** Requested consideration for a  
Conditional Use Permit

**CC:** Jim Murray – property owner

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## SUBMITTAL NARRATIVE:

**SITE LOCATION:** Seabird Drive and Oregon Coast Highway 101.  
Tax Lot 1402, Parcel 2

**SITE AREA:** 3.16 Acres

**PROPERTY:** Zoned C-2

**PROPOSED DEVELOPMNET:** 48 Market Rate apartment units contained within  
4 – 2 story buildings.

**UNIT MIX:** 16 - one bedroom units  
24 - two bedroom units

**LOT COVERAGE:** 33,783 sf = 24.58%

After a thorough Market Analysis, our team determined that there is a strong demand for apartment housing within the Bandon community along with the adjacent Bandon Dunes resort. This was based on extensive interviews within the community, research by our management team and the “Bandon Housing Needs Assessment” provided by the South Coast Development Council, Inc. in January 2018

**The subject property was selected based on good visibility and easy access from the Oregon Coast Highway 101. The property is relatively level and will require standard construction excavation. A commercial development project was proposed for the subject property in 2008 which was supported by Geotechnical, Geologist and Wetlands Engineering reports plus a Topographical Survey.**

**The project is being designed to meet a high aesthetic standard using natural materials, colors and details that follow a design style consistent with west Oregon coastal standards and compatible with the surrounding neighborhood. The buildings are two stories, but the hip roof design gives them a low-profile appearance. The site layout shows ample and convenient parking with buildings separated by generous spacing between them. All development is shown outside the defined Wetlands area. Site amenities are shown on the site plan including a Play area and Dog Park.**

**Our application submittal includes:**

**Site Plan showing existing conditions.  
Site Plan showing proposed improvements.  
Grading/Drainage Exhibits.  
A Utility Plan.  
Traffic Study  
Landscape Plan**

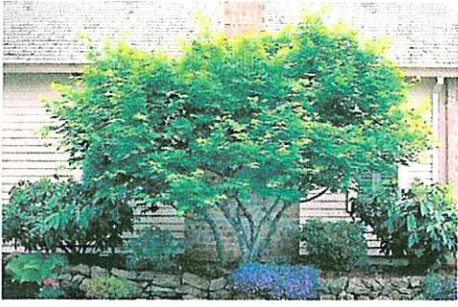
**Every effort is made to be in full compliance with all planning ordinances, building codes and other agency requirements.**

**Our design intent is to provide Bandon with a much-needed housing project and one that will enhance the livability within the community.**

**We are very proud to be able to present this project for the Bandon community.**

**Thank you**

**David Waldum**



Acer circinatum-1f



Acer palmatum 'Osakazuki'-1int11



Acer palmatum 104-1a



Acer palmatum-1int10



Acer Rubrum 'Frankenred'-1a int



Acer Rubrum 'Frankenred'-4a int



arctostaphylos Uva-Ursi-1bint



arctostaphylos Uva-Ursi-2bint



Berberis 'Orange Rocket'-1s



Buddleia davidii\_Butterfly Bush-1 OSU40



Carex testacea\_Orange Sedge-1int2



Ceanothus 'Dark Star'1



Ceanothus gloriosus 'Point Reyes-2a



Cistus purpureus\_Orchid Rockrose-1k



Cistus x laxus 'Snow White-3int



Cornus alba-Red twig dogwood-4b



Cornus-Dogwood-025



Euonymus 'Green Spire'\_5589



Euonymus fortunei 'Emerald Gaiety'-1d int



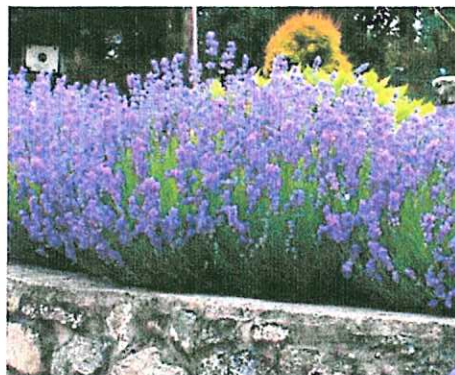
Gaultheria shallon-1f-int



Hebe 'Patty's Purple' 3s



Helictotricon sempervirens\_Blue Oat Grass-1a



Lavandula angustifolia 'Munstead'-1int22



Lithodora diffusa-1int42



Lonicera involucrata 1int



Lonicera involucrata 2int



Mahonia aquifolium-1a int



Pennisetum alopecuroides 'Hameln'-1



Phlomis fruticosa 'Edward Bowels'-1gint



Picea pungens glauca globosa nana-1int



Pieris japonica 'Little Heath'-1hort



Pieris japonica 'Little Heath'-3a



Pieris japonica Fire n Ice' \_8832



Pinus contorta 'Contorta'-1os467



Pinus mugo \_081



Prunus caroliniana 1int





Ribes sanguineum 1b-int3130



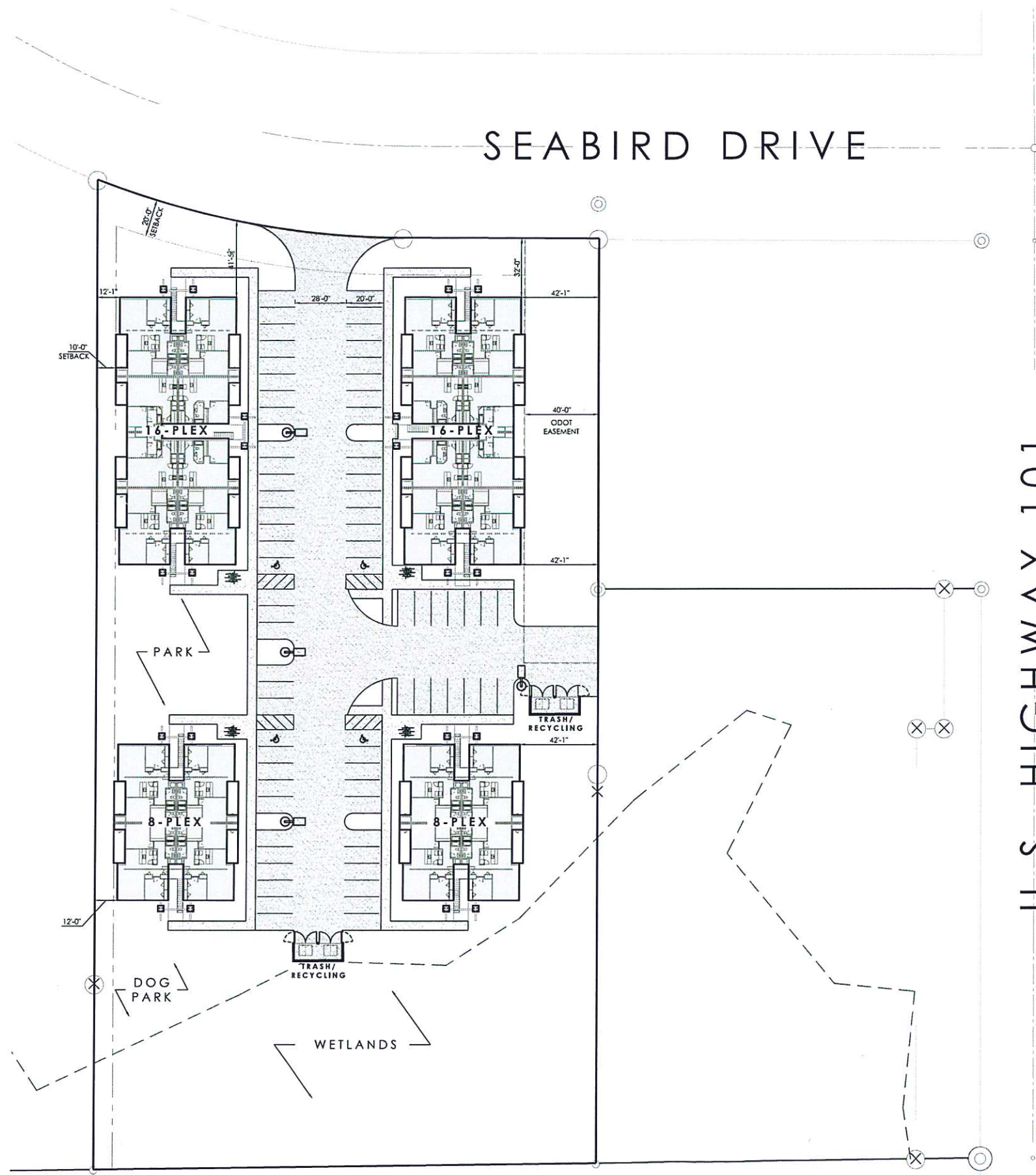
Rubus pentalobus 'Emerald Carpet'-1f\_5431



Vaccinium ovaum-1cint



Viburnum davidii-1d int



SEABIRD DRIVE

U.S. HIGHWAY 101

**AREA TABULATION**

**16-PLEX DWELLING UNITS**  
 (8) 2 BEDROOM UNITS: 1,157 SF/UNIT = 9,256 SF  
 (4) 1 BEDROOM UNITS: 715 SF/UNIT = 2,860 SF  
 (4) 1 BEDROOM UNITS: 775 SF/UNIT = 3,100 SF  
 TOTAL DWELLING UNITS = 16 UNITS x 2 BUILDINGS = 32 UNITS  
 TOTAL DWELLING UNIT AREA = 15,216 SF x 2 BUILDINGS = 30,432 SF

**8-PLEX DWELLING UNITS**  
 (8) 2 BEDROOM UNITS: 1,157 SF/UNIT = 9,256 SF  
 TOTAL DWELLING UNITS = 8 UNITS x 2 BUILDINGS = 16 UNITS  
 TOTAL DWELLING UNIT AREA = 9,256 SF x 2 BUILDINGS = 18,512 SF

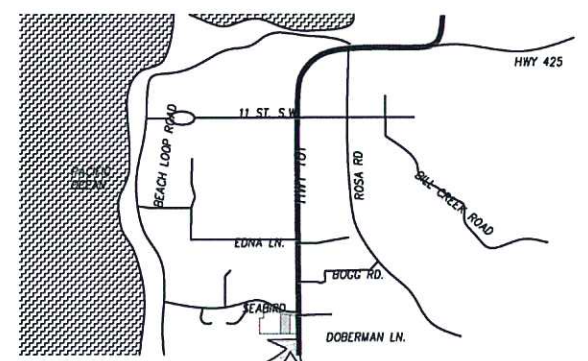
**8-PLEX DWELLING UNITS**  
 TOTAL AREA DWELLING UNITS = 48  
 TOTAL DWELLING UNIT AREA = 48,944 SF (NOT INCLUDING DECKS, PATIOS,  
 EXTERIOR CIRCULATION AREA AND EXTERIOR STORAGE - REF. SHEET A0.2  
 FOR ADDITIONAL INFO.)

**PARKING INFO**

MOTOR VEHICLE PARKING:  
 TOTAL PARKING SPACES REQUIRED: 1.5/DWELLING UNIT = 72 SPACES  
 TOTAL PARKING SPACES PROVIDED: 84 SPACES + 4 ADA PARKING SPACES  
 W/ VAN UNLOADING = 88 SPACES TOTAL

**LEGEND**

- ASPHALT DRIVEWAY PAVING
- ASPHALT WALKWAY PAVING
- DOWNSPOUT
- PROPERTY LINE
- POLE MOUNTED AREA LIGHT



SITE  
 BANDON, OREGON  
 VICINITY PLAN  
 2  
 1  
 NOT TO SCALE



30% LAND USE SUBMITTAL

1 | **SITE PLAN**  
 A1.1 | SCALE: 1" = 30'-0"

**DW**  
 DAVID WALDICON ARCHITECT &  
 ASSOCIATES - 541-588-0017  
 1403 SW KNOLL STREET, SUITE 101 BEND, OREGON 97701

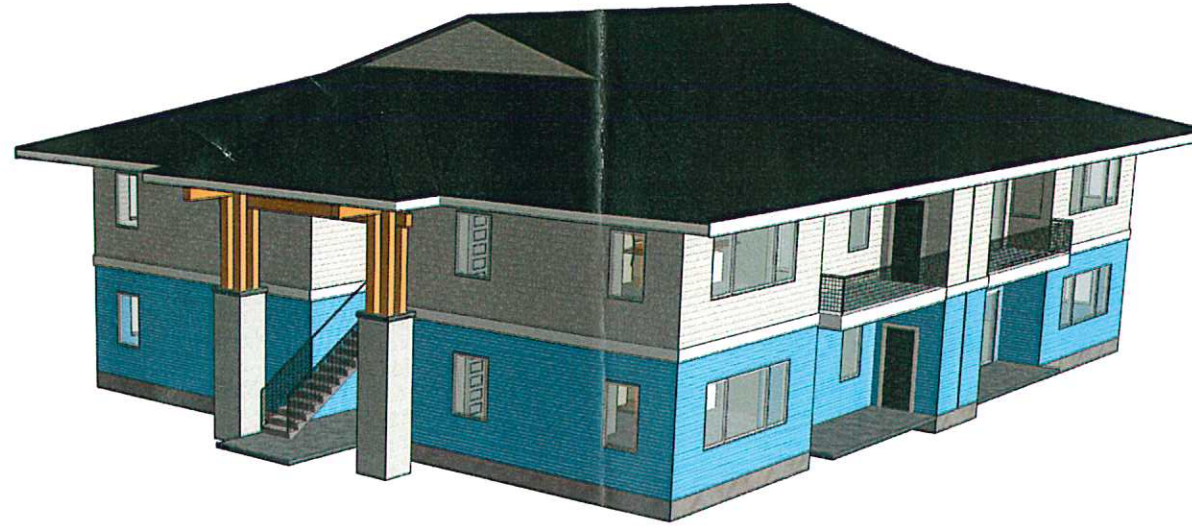
**SEABIRD APARTMENTS**  
 BANDON, OREGON  
 Prepared for Development Concept

**SITE PLAN**

PROJECT NO. 21088  
 DRAWN BY: BKT  
 CHECKED BY: DEW

ISSUED SET	DATE
30% LAND USE SUBMITTAL	05/10/21

A1.1



**FRONT PERSPECTIVE VIEW**  
SCALE:

**PROJECT TEAM**

<b>OWNER</b> TO BE COMPLETED	<b>ARCHITECT</b> DAVID WALDRON ARCHITECT & ASSOCIATES David Waldron Architect 1465 SW Knoll Ave., Ste. 102 Bend, Or. 97702 Phone: 541.588.0917 Email: david.waldron@waldron.com
<b>GENERAL CONTRACTOR</b> TO BE COMPLETED	BY OTHERS (DESIGN/BUILD)
<b>STRUCTURAL ENGINEERING</b> TO BE COMPLETED	<b>MECHANICAL ENGINEERING</b> BY OTHERS (DESIGN/BUILD)
<b>CIVIL ENGINEERING</b> TO BE COMPLETED	<b>ELECTRICAL ENGINEERING</b> BY OTHERS (DESIGN/BUILD)
<b>LANDSCAPE DESIGN</b> TO BE COMPLETED	<b>PLUMBING &amp; FIRE ENGINEERING</b> BY OTHERS (DESIGN/BUILD)

**DEFERRED SUBMITTALS**

NONE

**BUILDING CODES**

- 2017 OREGON STRUCTURAL SPECIALTY CODE (OSSC)
- 2019 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEEEC)
- 2017 OREGON MECHANICAL SPECIALTY CODE (OMS-C)
- 2017 OREGON ELECTRICAL SPECIALTY CODE (OESC)
- 2017 OREGON PLUMBING SPECIALTY CODE (OPSC)
- AHSI A117.1 (2009), STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES  
[https://codes.iccsafe.org/content/ICC117\\_12009/in\\_xpp=public](https://codes.iccsafe.org/content/ICC117_12009/in_xpp=public)
- FAIR HOUSING ACT  
<https://www.huduser.gov/portal/publications/PDF/FairHousingAct4.pdf>

**DRAWING INDEX**

DWG #	DRAWING NAME
A0.1	COVER SHEET
A0.2	CODE SUMMARY
A0.3	ASSEMBLIES
A0.4	ACCESSIBILITY DETAILS
A2.1	FIRST & SECOND FLOOR PLANS
A2.2	ROOF PLAN
A2.3	UNIT PLANS
A2.4	STAIR PLANS & DETAILS
A3.1	BUILDING ELEVATIONS
A4.1	SECTIONS
A4.2	SECTIONS
A4.3	SECTIONS & ENTRY CANOPY & DECK RAILING DETAILS
A5.1	ARCHITECTURAL DETAILS
A5.2	ARCHITECTURAL DETAILS
A6.1	WINDOW & DOOR SCHEDULES

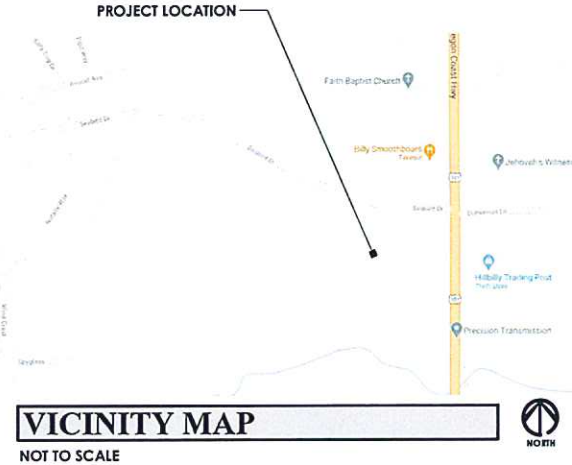
NOTE: REFERENCE OTHER DISCIPLINES & BIDDER DESIGN SHOP DRAWINGS FOR COMPREHENSIVE PROJECT REQUIREMENTS. OTHER DISCIPLINES NOT SHOWN HERE.

**GENERAL NOTES**

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DWGS PRIOR TO EXECUTION OF ANY WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH ALL STATE AND LOCAL JURISDICTIONAL BUILDING CODES AND REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY.
- ALL DIMENSIONS TO FACE OF SHEATHING OR CONCRETE UNLESS OTHERWISE NOTED. DIMENSIONS BETWEEN DESIGNER WALLS ARE TO CENTERLINE OF DEMISING ASSEMBLY. CONCRETE/MASONRY DIMENSIONS ARE GIVEN TO FACE OF CONCRETE/MASONRY AND/OR TO THE EDGE OF CONCRETE SLABS ON PLANS (REFERENCE SECTIONS & DETAILS FOR MORE INFO)
- FLOOR LEVEL ELEVATIONS SPECIFIED ON ELEVATIONS, SECTIONS & DETAILS REFERENCE TOP OF FLOOR SHEATHING OR CONCRETE WHERE SHEATHING DOES NOT OCCUR.
- DO NOT SCALE DRAWINGS.
- DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO ARCHITECT & ENGINEER OF RECORD PRIOR TO COMMENCING AFFECTED WORK.
- ONE SET OF THE APPROVED PLANS BEARING THE STAMPS OF THE JURISDICTION'S BUILDING DIVISION MUST BE MAINTAINED DURING CONSTRUCTION AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE INSPECTORS FOR REFERENCE DURING INSPECTIONS.
- ADJACENT TO EACH REAR ROOM DOOR, FOR EACH APARTMENT BUILDING, PROVIDE A KNOB BOX BRAND SECURITY KEY BOX AS A CONSIDERATION OF OCCUPANCY.

**LEGEND** (DRAWINGS INCLUDE SHEET SPECIFIC LEGENDS IN ADDITION TO GENERAL) (GENERAL SYMBOLS ARE REFERENCED)

CIRCLE WITH GRID NUMBER	STRUCTURAL GRID LINE
CIRCLE WITH STRUCTURE CENTERLINE OR STRUCTURE FACE	
ELEVATION REFERENCE NUMBER ON SHEET (OUTSIDE OF SYMBOL)	EXTERIOR ELEVATION REFERENCES (MAY REF. MULTIPLE VIEWS)
ELEVATION INDICATOR (ARROW INDICATING VIEW DIRECTION)	
REFERENCE NUMBER	BUILDING SECTION REFERENCE
SHEET REFERENCE	DETAIL SECTION
REFERENCE NUMBER	ENLARGED PLAN OR DETAIL REFERENCE
SHEET REFERENCE	AREA OF REFERENCE
REVISION REFERENCE NUMBER	DESIGN REVISION
ROOM NAME	ROOM NAME & NUMBER
WALL TYPE	ASSEMBLY TYPE REFERENCE
FLOOR TYPE	
CEILING TYPE	
DOOR TYPE	
DOOR TYPE REFERENCE - SEE SCHEDULE	
WINDOW TYPE REFERENCE - SEE SCHEDULE	



**DW**  
DAVID WALDRON ARCHITECT & ASSOCIATES - 541-588-0917  
1465 SW KNOLL AVENUE, BEND, OREGON 97702

SEABIRD APARTMENTS  
8-PLEX

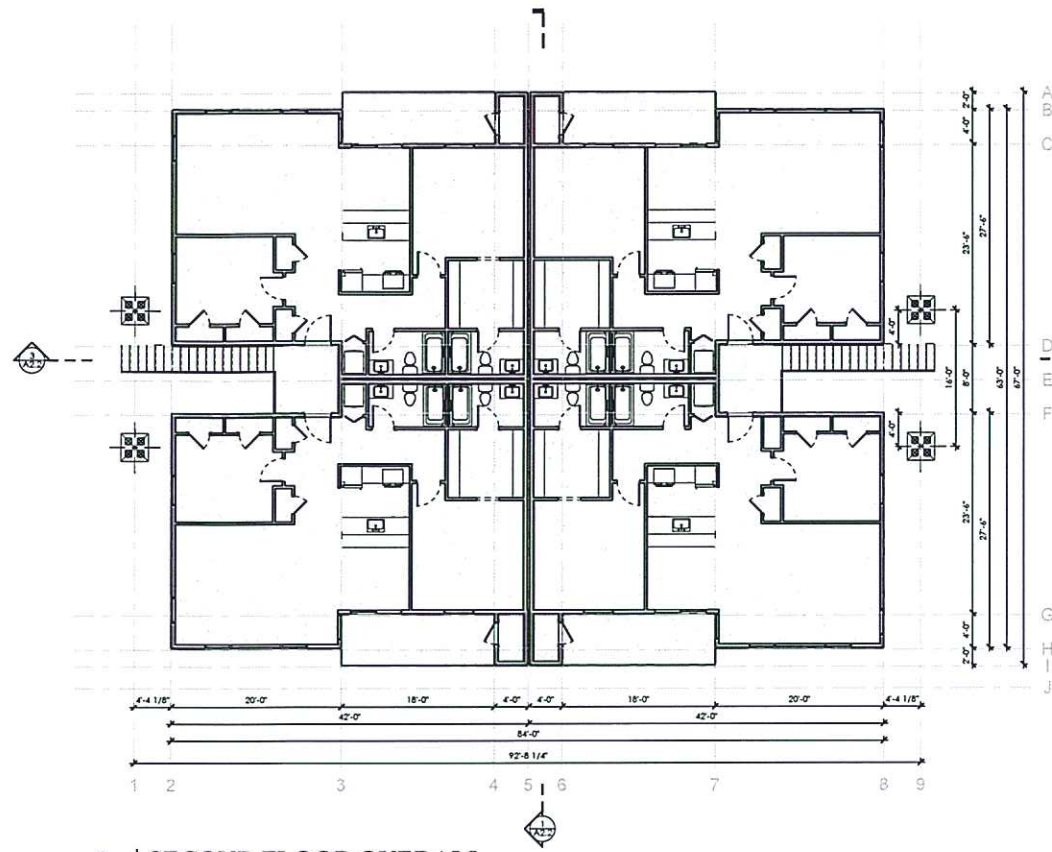
Prepared for Owner: James M. Murray, Jr. & Investors

**COVER SHEET**

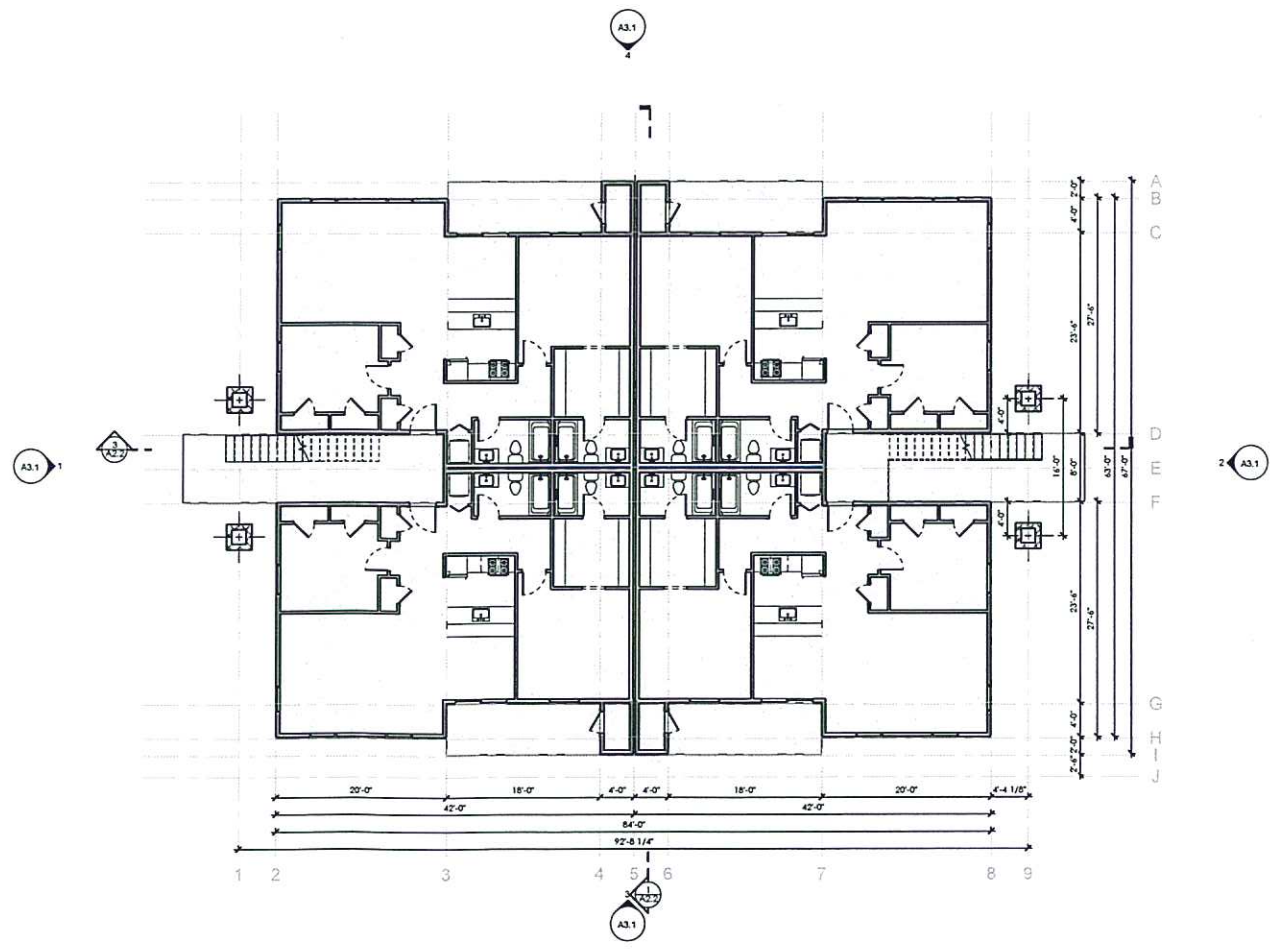
PROJECT NO. 21009  
DRAWN BY: BWA  
CHECKED BY: BWA

DATE	BY	REVISION

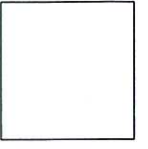
**A0.1**



**2 SECOND FLOOR OVERALL**  
 A2.1 SCALE: 1/8" = 1'-0"



**1 FIRST FLOOR PLAN**  
 A2.1 SCALE: 1/8" = 1'-0"



**DW**  
 DAVID WALDRON ARCHITECT &  
 ASSOCIATES - 641-686-0817  
 1005 SW KNOLL BLVD, SUITE 101 BEND, OREGON 97701

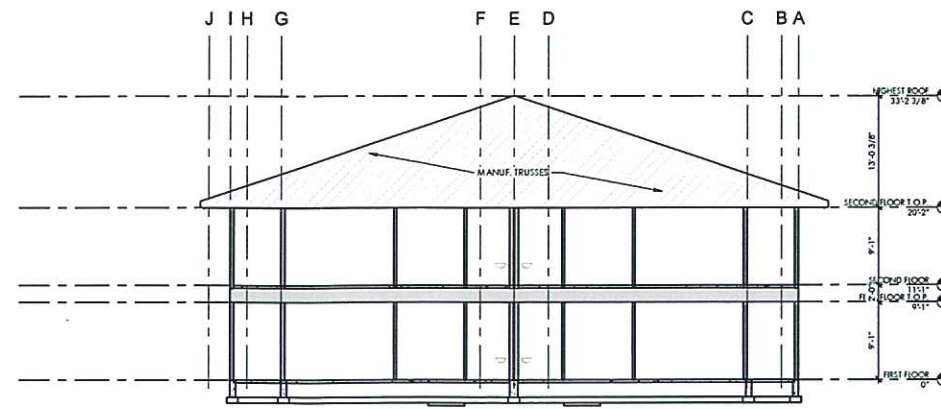
**SEABIRD APARTMENTS  
 8-PLEX**  
 Prepared for Owner: James M. Murray, Jr. & Investors

**FIRST & SECOND FLOOR PLANS**

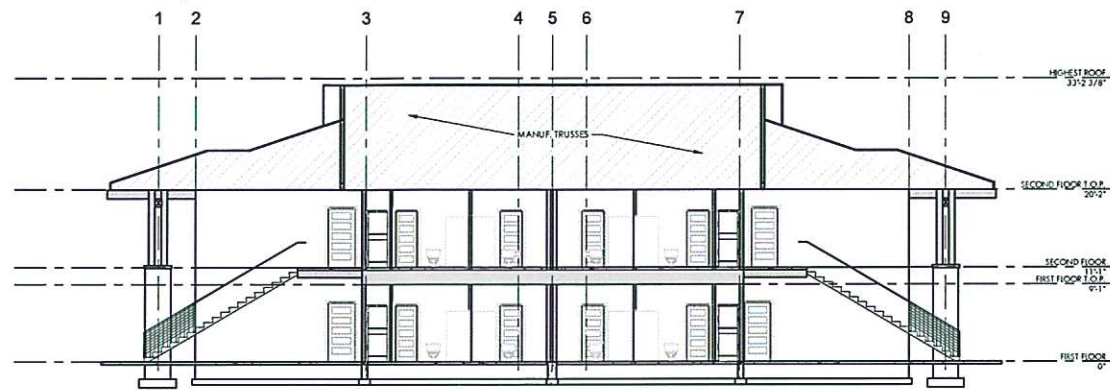
PROJECT NO. 21009  
 DRAWN BY: BEM  
 CHECKED BY: FEN

INSTR. SET	DATE
LAND USE SUBMITTAL	04/01/21

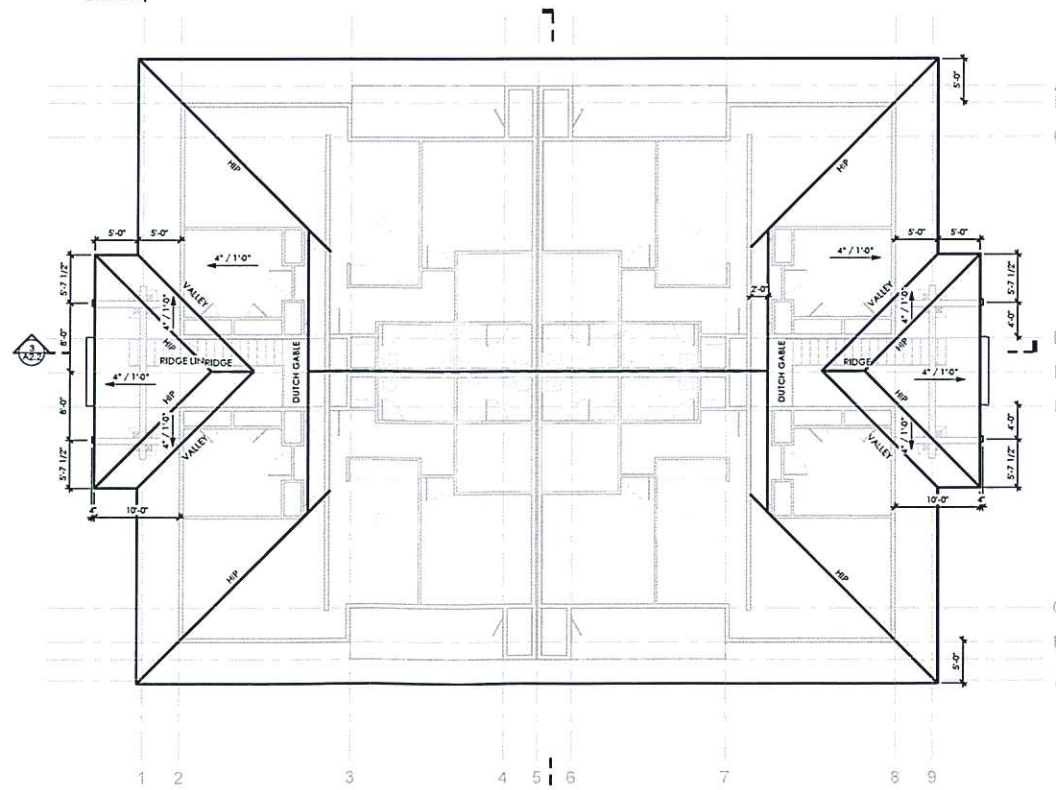
**A2.1**



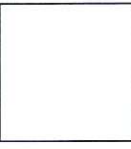
**1 SECTION A**  
A2.2 SCALE: 1/8" = 1'-0"



**3 SECTION B**  
A2.2 SCALE: 1/8" = 1'-0"



**2 ROOF PLAN**  
A2.2 SCALE: 1/8" = 1'-0"



**DW**  
DAVID WALDRON ARCHITECT &  
ASSOCIATES - 641-588-0917  
1465 SW KNOLLHURST LN BEND, OREGON 97701

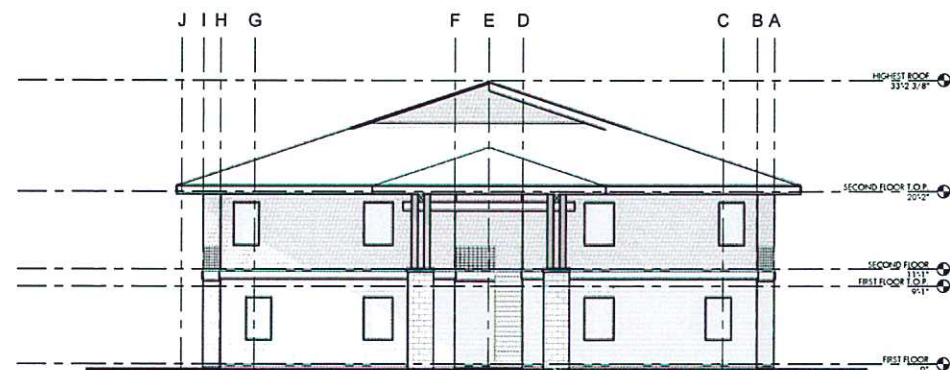
**SEABIRD APARTMENTS  
8-PLEX**  
Prepared for Owner: James M. Murray, Jr. & Investors

**ROOF PLAN**

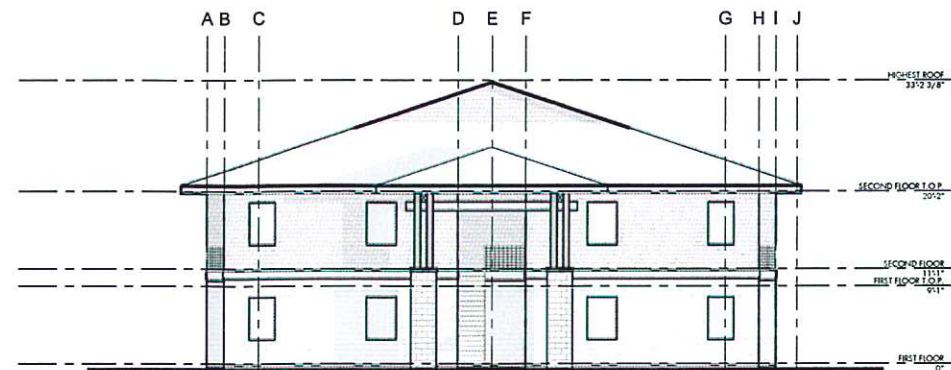
PROJECT NO. 21009  
DRAWN BY: BHM  
CHECKED BY: DCR

DATE	REVISION
08/08/21	01

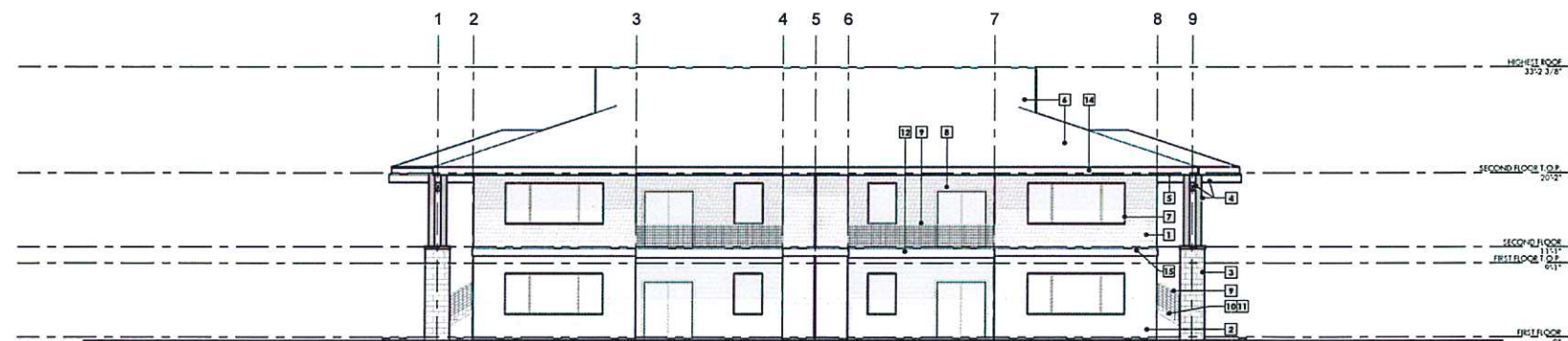
**A2.2**



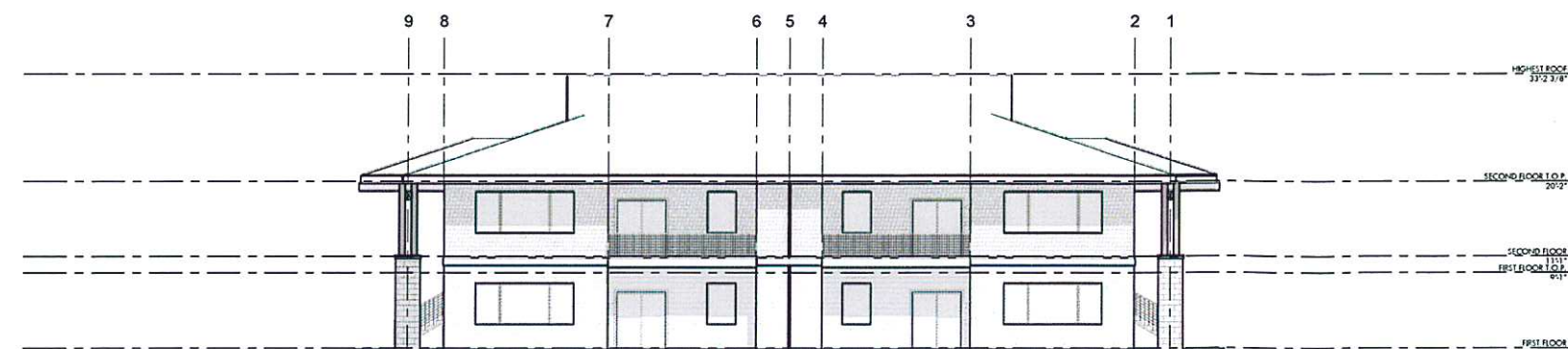
**2 | REAR ELEVATION**  
A3.1 | SCALE: 1/8" = 1'-0"



**1 | FRONT ELEVATION**  
A3.1 | SCALE: 1/8" = 1'-0"



**3 | RIGHT ELEVATION**  
A3.1 | SCALE: 1/8" = 1'-0"



**4 | LEFT ELEVATION**  
A3.1 | SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

1. KEYNOTE CALLOUTS ARE TYPICAL UNLESS NOTED OTHERWISE

**EXTERIOR KEYNOTES**

- 1 HARDE PANK - SHINGLES PER CONTRACTOR W/ OWNER'S APPROVAL
- 2 HARDE PANK - LAP SIDING PER CONTRACTOR W/ OWNER'S APPROVAL
- 3 PAINTED CMU MASONRY ENTRY ROOF COLUMN W/ SLOPED CONC. CAP
- 4 PAINTED OR STAINED GLULAMINATED ENTRY CANOPY MEMBERS PER DETAILS - REF. A4.3 & STRUCTURAL (STRUCTURAL TO SUPERSEDE)
- 5 PRE-FINISHED OR PAINTED FIBER CEMENT SOFFIT
- 6 COMPOSITION ROOFING Presidential Series Composition Shingles by GAF (BASE OF DESIGN) COLOR PER CONTRACTOR W/ OWNER'S APPROVAL
- 7 VINYL WINDOW, 0" INDICATES ACCESSIBLE WINDOW - SEE SCHEDULE & TRIM DETAILS ON A6.1, COLOR PER CONTRACTOR W/ OWNER'S APPROVAL
- 8 DOOR AND FRAME - SEE SCHEDULE & TRIM DETAILS ON A6.1, COLOR PER CONTRACTOR W/ OWNER'S APPROVAL
- 9 FABRICATED POWDER COATED GUARDRAILING SYSTEM, SEE S6A/A4.3
- 10 CONCRETE TREAD OVER METAL PAN STAIRS
- 11 UNDERSIDE OF METAL PAN STAIRS PAINTED OR COVERED W/ FIBER CEMENT SOFFIT PER CONTRACTOR
- 12 PAINTED 2x FASQA OR DECK BEAM PER 14/A5.1
- 13 PAINTED OR STAINED 6x6 WOOD COLUMN PER STRUCTURAL ON ISOLATED FOOTING W/ 4" EXPOSURE
- 14 2x12 PAINTED "FOREST TRIM" SPF FINGER JOINTED WOOD FASQA
- 15 2x12 PAINTED "FOREST TRIM" SPF FINGER JOINTED WOOD HORIZ. TRIM BAND W/ PAINTED WALL FLASHING/DRIP EDGE OVER TOP (MATCH TYPICAL FLASHING COLOR)
- 16 LANDING FLOOR EDGE W/ 2x12 PAINTED "FOREST TRIM" SPF FINGER JOINTED WOOD HORIZ. TRIM BAND 2x4" TO DETAIL 14/A5.1

**DW**  
DAVID WALDRON ARCHITECT &  
ASSOCIATES - 644-888-0117  
1665 SW KINGSWAY, SUITE 101 BEND, OREGON 97701

**SEABIRD APARTMENTS  
8-PLEX**  
Prepared for Owner: James M. Murray Jr. & Investors

**BUILDING ELEVATIONS**

PROJECT NO. 21008  
DRAWN BY: ELD  
CHECKED BY: ELD

DATE	MODEL

**A3.1**



**FRONT PERSPECTIVE VIEW**

SCALE:

**PROJECT TEAM**

OWNER	ARCHITECT
TO BE COMPLETED	DAVID WALDRON ARCHITECT & ASSOCIATES David Waldron Architect 1465 SW Knoll Ave., Ste. 102 Bend, Or. 97702 Phone: 541.588.0917 Email: david.waldron@waldron.com

GENERAL CONTRACTOR	
TO BE COMPLETED	

STRUCTURAL ENGINEERING	MECHANICAL ENGINEERING
TO BE COMPLETED	BY OTHERS (DESIGN/BUILD)

CIVIL ENGINEERING	ELECTRICAL ENGINEERING
TO BE COMPLETED	BY OTHERS (DESIGN/BUILD)

LANDSCAPE DESIGN	PLUMBING & FIRE ENGINEERING
TO BE COMPLETED	BY OTHERS (DESIGN/BUILD)

**DEFERRED SUBMITTALS**

NONE

**BUILDING CODES**

2017 OREGON STRUCTURAL SPECIALTY CODE (OSSS)  
2019 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEEEC)  
2017 OREGON MECHANICAL SPECIALTY CODE (OMSC)  
2017 OREGON ELECTRICAL SPECIALTY CODE (OESC)  
2017 OREGON PLUMBING SPECIALTY CODE (OPSC)  
ANSI A117.1 (2009) STANDARD FOR ACCESSIBLE AND USABLE BUILDING AND FACILITIES  
FAIR HOUSING ACT  
<https://www.huduser.gov/portal/publications/FOP/FAIRHOUSINGFairH.pdf>

**DRAWING INDEX**

DWG #	DRAWING NAME
A0.1	COVER SHEET
A0.2	CODE SUMMARY
A0.3	ASSEMBLIES
A0.4	ACCESSIBILITY DETAILS
A2.1	FIRST & SECOND FLOOR PLANS
A2.2	ROOF PLAN
A2.3	UNIT PLANS
A2.4	STAIR PLANS & DETAILS
A3.1	BUILDING ELEVATIONS
A4.1	SECTIONS
A4.2	SECTIONS
A4.3	SECTIONS & ENTRY CANOPY & DECK RAILING DETAILS
A5.1	ARCHITECTURAL DETAILS
A5.2	ARCHITECTURAL DETAILS
A6.1	WINDOW & DOOR SCHEDULES

NOTE: REFERENCE OTHER DISCIPLINES & BIDDER DESIGN SHOP DRAWINGS FOR COMPREHENSIVE PROJECT REQUIREMENTS. OTHER DISCIPLINES NOT SHOWN HERE.

**GENERAL NOTES**

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DWGS PRIOR TO EXECUTION OF ANY WORK AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH ALL STATE AND LOCAL JURISDICTIONAL BUILDING CODES AND REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY.
- ALL DIMENSIONS TO FACE OF SHEATHING OR CONCRETE UNLESS OTHERWISE NOTED. DIMENSIONS BETWEEN FINISHING WALLS ARE TO CENTERLINE OF FINISHING ASSEMBLY. CONCRETE/MASONRY DIMENSIONS ARE GIVEN TO FACE OF CONCRETE/MASONRY AND/OR TO THE EDGE OF CONCRETE SLABS ON PLANS (REFERENCE SECTIONS & DETAILS FOR MORE INFO.)
- FLOOR LEVEL ELEVATIONS SPECIFIED ON ELEVATIONS, SECTIONS & DETAILS REFERENCE TOP OF FLOOR SHEATHING OR CONCRETE WHERE SHEATHING DOES NOT OCCUR.
- DO NOT SCALE DRAWINGS.
- DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO ARCHITECT & ENGINEER OF RECORD PRIOR TO COMMENCING AFFECTED WORK.
- ONE SET OF THE APPROVED PLANS BEARING THE STAMPS OF THE JURISDICTION'S BUILDING DEPARTMENT MUST BE MAINTAINED DURING CONSTRUCTION AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE INSPECTORS FOR REFERENCE DURING INSPECTION.
- ADJACENT TO EACH REAR ROOM DOOR, FOR EACH APARTMENT BUILDING, PROVIDE A KNIXOR BOX BRAND SECURITY KEY BOX AS A CONDITION OF OCCUPANCY.

**ABBREVIATIONS**

AS	ANCHOR BOLT	DBL	DOUBLE	FOM	FACE OF MASONRY	LAM	LAMINATED	REF	REINFORCED/REINFORCING	TJ	TROWEL JOINT/TOOL JOINT
AC	ACOUSTICAL	DEPT	DEPARTMENT	FOS	FACE OF STUD SHEATHING	LAV	LAVATORY	REQ	REQUIRED	TOP	TOP OF CONCRETE CURB
ADJ	ADJACENT	DIM	DIMENSION	GA	GALVANIZED	MFR	MANUFACTURER	ROOM	ROOM	TOP OF DECK	TOP OF DECK
AFF	ABOVE FINISHED FLOOR	DSP	DISPENSER	GALV	GALVANIZED	MAS	MATERIAL	R	RADIUS	TOP OF FRAMING	TOP OF FRAMING
ALUM	ALUMINUM	DN	DOWN	GA	GALVANIZED	MAT	MATERIAL	RD	RAIN DRAIN/ROOF DRAIN	TOP OF MASONRY	TOP OF MASONRY
ANOD	ANODIZED	DR	DOOR	GEN	GENERAL	MAX	MAXIMUM	RIO	ROUGH OPENING	TOP OF PLATE	TOP OF PLATE
APPROX	APPROXIMATE/APPROXIMATELY	DWG	DRAWING	GL	GLASS	MCH	MECHANICAL	SAM	SELF-ADHERING MEMBRANE	TOS	TOP OF SHEATHING
ARCH	ARCHITECTURAL	DTL	DETAIL	GL	GLASS	MEZ	MEZANINE	SWH	SUSP. BALCONY W.P.	TPO	TOILET PAPER DISPENSER
AUTO	AUTOMATIC	DSPT	DOWN SPOUT	GYPBD	GYP. BOARD	MNI	MISCELLANEOUS	SCHD	SCHEDULE	UB	UNIFORM BUILDING CODE
BD	BOARD	EA	EACH	GL	GLUE LAMINATED BEAM	MIS	MISCELLANEOUS	SECTION	SECTION	UNO	UNLESS NOTED OTHERWISE
BLDG	BUILDING	ELECT	ELECTRIC/ELECTRICAL	HC	HANDICAPPED	MO	METAL	SHGT	SHEATHING	VER	VERTICAL
BULFG	BULGING	ELEV	ELEVATION	HDR	HEADER	NOM	NOMINAL	SOFT	SOFT	VCT	VINYL COMPOSITION TILE
BOT	BOTTOM	EQUIP	EQUIPMENT	HDR	HORIZONTAL	NO	NO	SPEC	SPECIFICATION	WJ	WITH
BO	BOTTOM OF	EQ	EQUAL	HOR	HORIZONTAL	NOT IN CONTRACT	NOT IN CONTRACT	STND	STANDARD	WD	WOOD
CLG	CENTERLINE	EXT	EXISTING	HR	HEIGHT	OJ	OVER	STL	STEEL	WP	WATERPROOF
CLR	CLEAR	EJ	EXPANSION JOINT	HR	HOUR	OPG	OPENING	STOR	STORAGE	WC	WATER CLOSET
COL	COLUMN	EW	EACHWAY	HT	HOLE/SIBS	OPP	OPPOSITE	STRUC	STRUCTURAL	WH	WATER HEATER
CONC	CONCRETE	FF	FRESH FLOOR ELEVATION	HM	HOLLOW METAL	OC	OVERFLOW DRAIN	SUSP	SUSPENDED	WRB	WATER RESISTANT BARRIER
CONSTR	CONSTRUCTION	FINSH	FINISH FLOOR ELEVATION	INSUL	INSULATION	PLYWD	PLYWOOD	SYST	SYSTEM		
CONT	CONTOUR	FFL	FRESH FLOOR	INT	INTERIOR	PT	PARTICLE BOARD	TEMP	TEMPERED		
CJ	CAST JOINT	FLR	FLOOR	INTL	INTERIOR	PTR	PRESSURE TREATED	THK	THICK		
CMU	CONCRETE MASONRY UNIT	FTG	FOOTING	JT	JOINT	PID	PAPER TOWEL DISPENSER	TYP	TYPICAL		
		FEC	FIRE EXTINGUISHER CABINET					TG	TONGUE AND GROOVE		
		FGF	FACE OF FINISH								

**LEGEND**

LEGEND	(DRAWINGS INCLUDE SHEET SPECIFIC LEGENDS IN ADDITION TO GENERAL DRAWING SYMBOLS REFERENCED HERE)
GRID NUMBER STRUCTURE CENTERLINE OR STRUCTURE FACE	STRUCTURAL GRID LINE
ELEVATION REFERENCE NUMBER ON SHEET ROUTE OF SYMBOL ELEVATION INDICATOR (ARROW INDICATING VIEW DIRECTION) SHEET REFERENCE	EXTERIOR ELEVATION REFERENCES (WAY REF. MULTIPLE VIEWS)
REFERENCE NUMBER SHEET REFERENCE	BUILDING SECTION REFERENCE
REFERENCE NUMBER SHEET REFERENCE	DETAIL SECTION
REFERENCE NUMBER SHEET REFERENCE	ENLARGED PLAN OR DETAIL REFERENCE
REVISION REFERENCE NUMBER	DESIGN REVISION
ROOM NAME (ID)	ROOM NAME & NUMBER
WW - WALL TYPE FF - FLOOR TYPE CC - CEILING TYPE RR - ROOF TYPE	ASSEMBLY TYPE REFERENCE
(D)	DOOR TYPE REFERENCE - SEE SCHEDULE
(W)	WINDOW TYPE REFERENCE - SEE SCHEDULE

**PROJECT LOCATION**



**VICINITY MAP**

NOT TO SCALE

**DW**  
DAVID WALDRON ARCHITECT & ASSOCIATES - 641-588-0917  
1465 SW KNOLL AVENUE, BEND, OREGON 97701

**SEABIRD APARTMENTS  
16-PLEX**

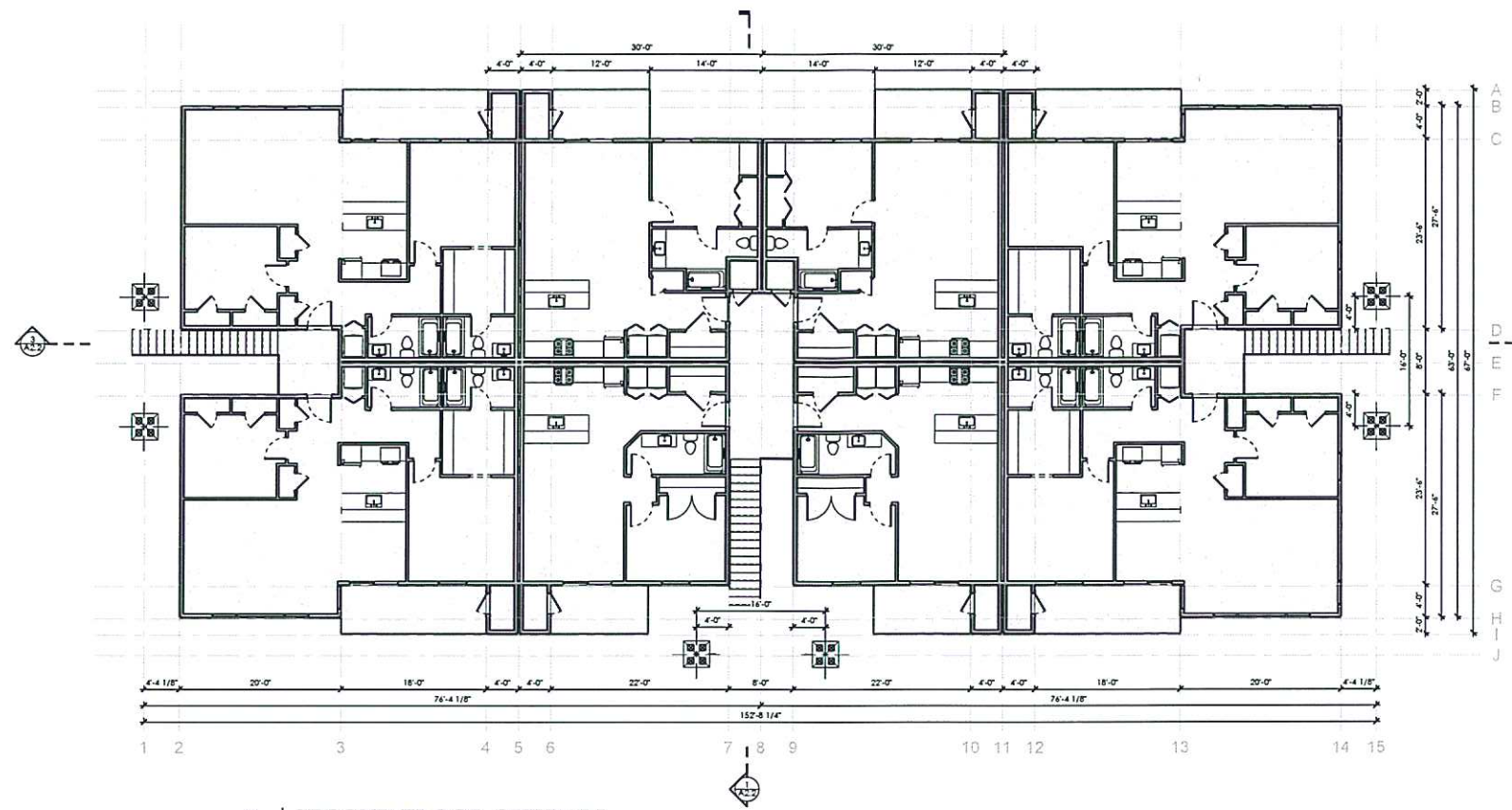
Prepared for Owner: James M. Murray Jr. & Investors

**COVER SHEET**

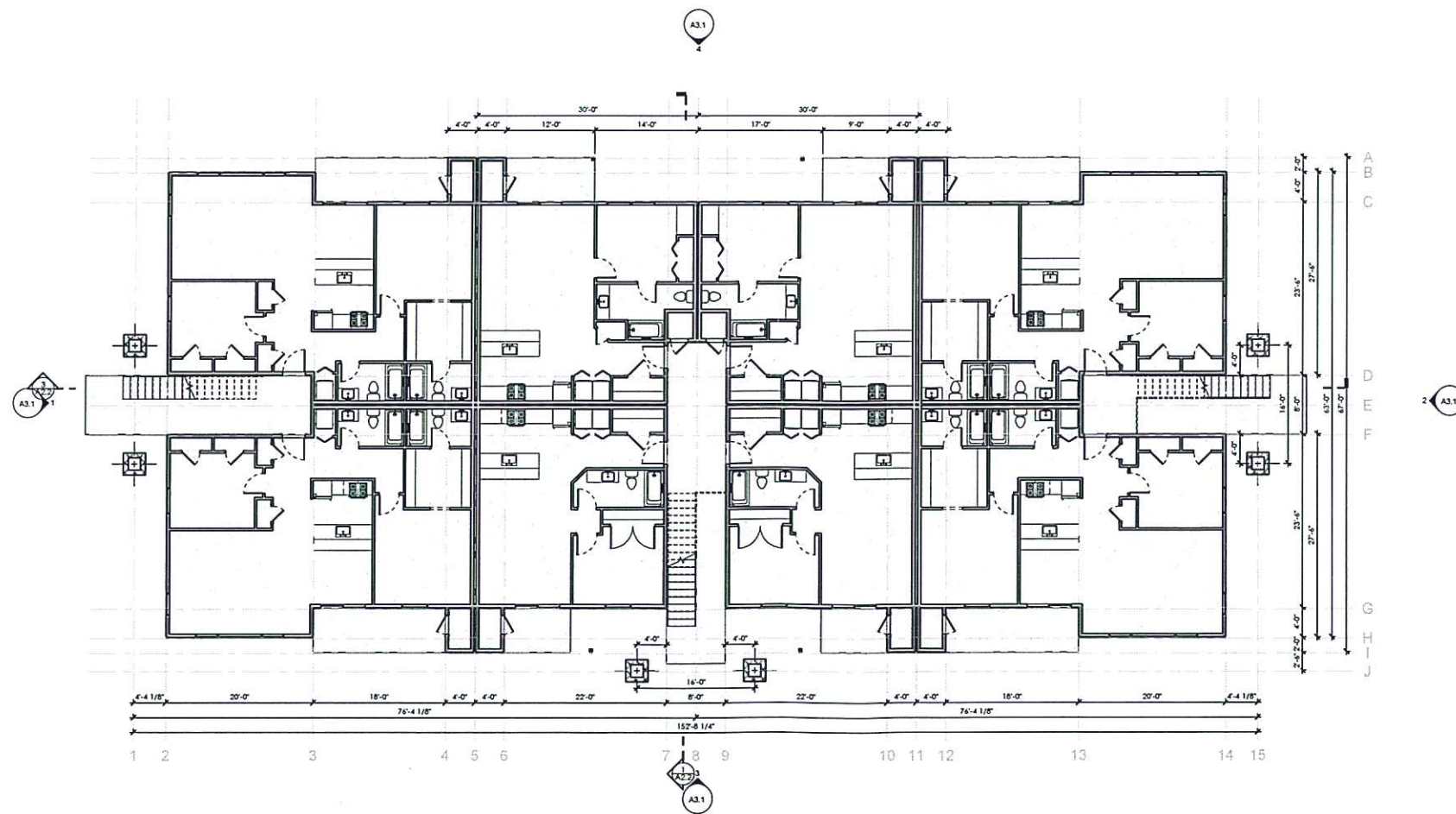
PROJECT NO.	21008
DRAWN BY	BLOD
CHECKED BY	PLN

DATE	REVISION

**A0.1**



**2 | SECOND FLOOR OVERALL**  
**A2.1** SCALE: 1/8" = 1'-0"



**1 | FIRST FLOOR PLAN**  
**A2.1** SCALE: 1/8" = 1'-0"

PROJECT NO. 21088

**DW**  
 DAVID WALDRON ARCHITECT &  
 ASSOCIATES - 541-586-0917  
 1455 SW KNIGHTS BLVD, BEAVERTON, OREGON 97005

**SEABIRD APARTMENTS  
 16-PLEX**  
 Prepared for Owner: James M. Murray, Jr. & investors

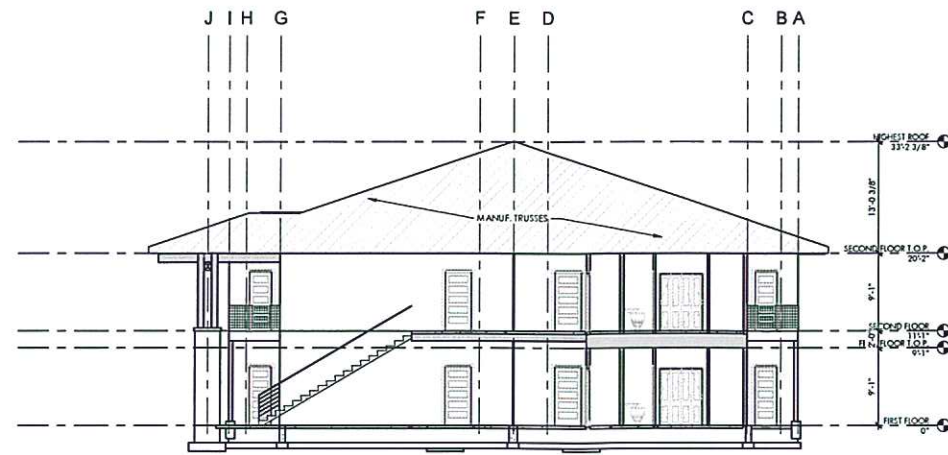
**FIRST & SECOND FLOOR PLANS**

PROJECT NO. 21088  
 DRAWN BY: BMD  
 CHECKED BY: PSL

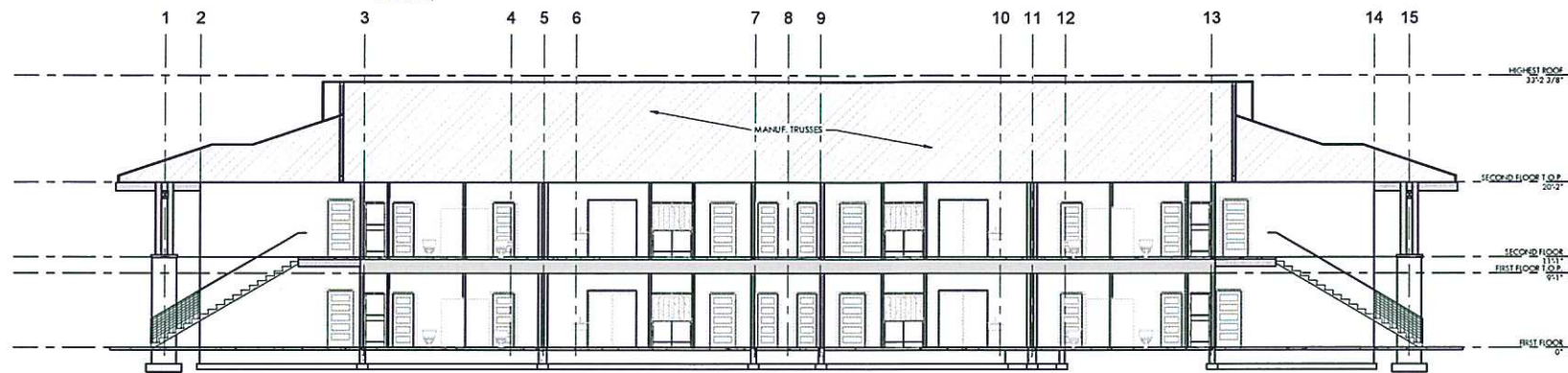
DATE	DESCRIPTION
04/15/18	LAND USE SUBMITTAL

**A2.1**

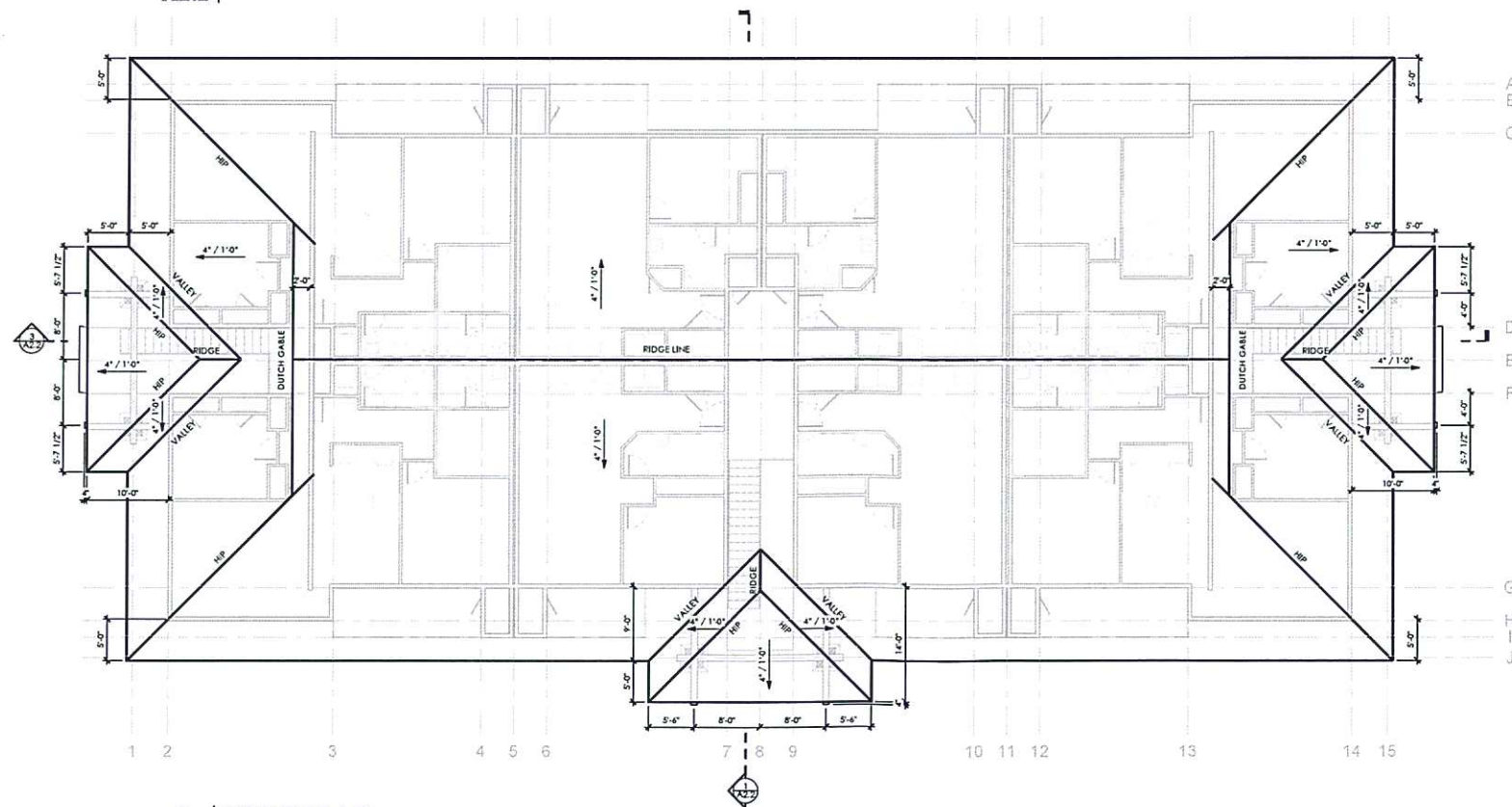




**1 SECTION A**  
A2.2 SCALE: 1/8" = 1'-0"



**3 SECTION B**  
A2.2 SCALE: 1/8" = 1'-0"



**2 ROOF PLAN**  
A2.2 SCALE: 1/8" = 1'-0"

**DW**

DAVID WALDRON ARCHITECT &  
ASSOCIATES - 641-588-0917  
1485 NW 8504 AVENUE SUITE 101 BEND, OREGON 97701

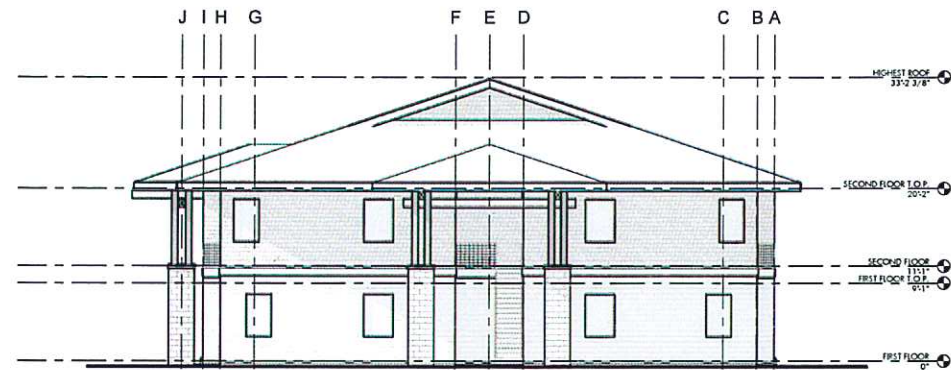
SEABIRD APARTMENTS  
16-PLEX

Prepared for Owner: James M. Murray Jr. & Investors

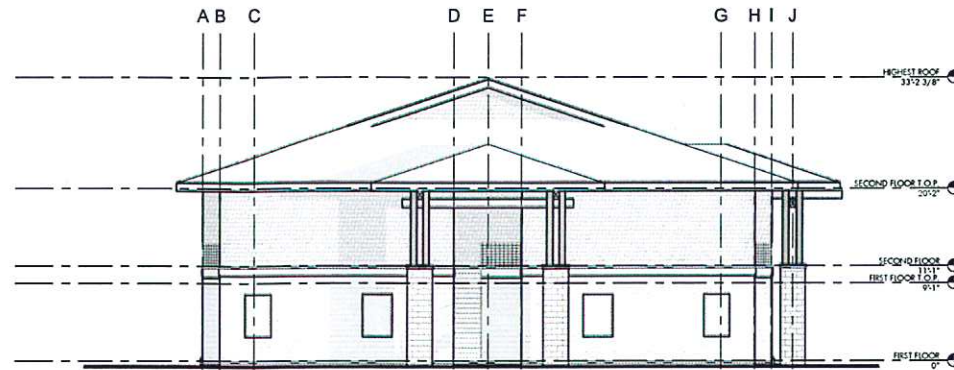
ROOF PLAN

PROJECT NO.	21088
DATE	08/11/2017
DESIGNED BY	DAVID WALDRON
CHECKED BY	DAVID WALDRON
DATE	08/11/2017
DESIGNED BY	DAVID WALDRON
CHECKED BY	DAVID WALDRON
DATE	08/11/2017
DESIGNED BY	DAVID WALDRON
CHECKED BY	DAVID WALDRON
DATE	08/11/2017
DESIGNED BY	DAVID WALDRON
CHECKED BY	DAVID WALDRON

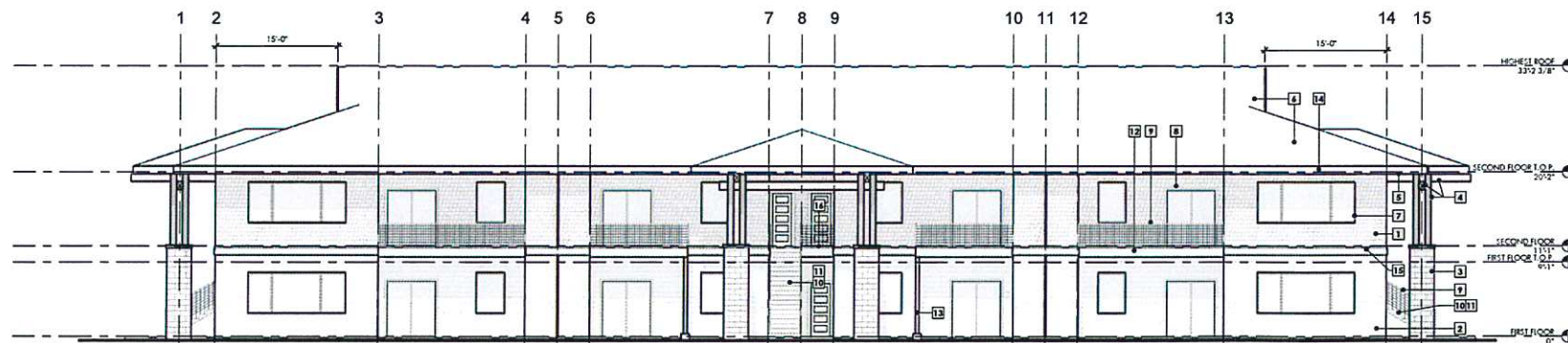
A2.2



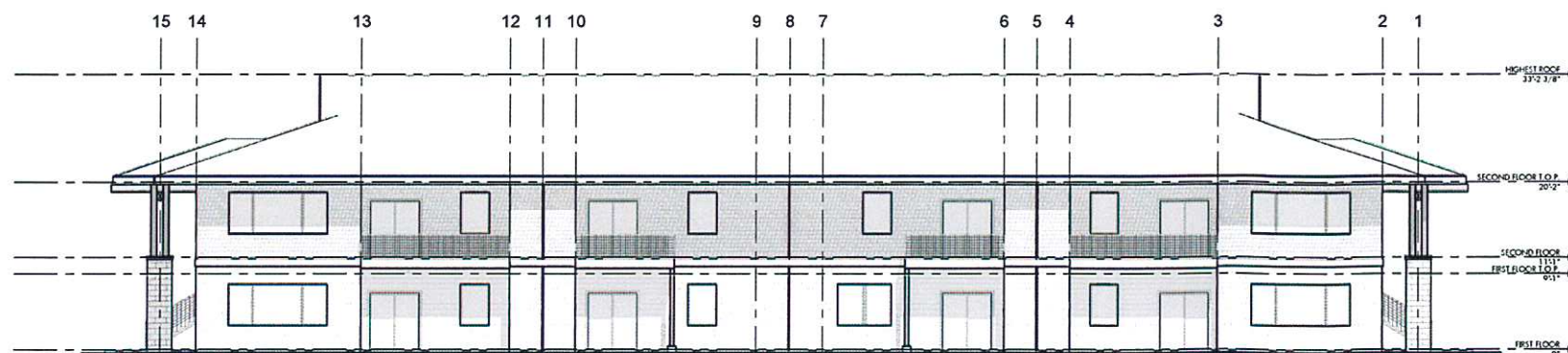
**2 | REAR ELEVATION**  
A3.1 SCALE: 1/8" = 1'-0"



**1 | FRONT ELEVATION**  
A3.1 SCALE: 1/8" = 1'-0"



**3 | RIGHT ELEVATION**  
A3.1 SCALE: 1/8" = 1'-0"



**4 | LEFT ELEVATION**  
A3.1 SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

1. KEYNOTE CALLOUTS ARE TYPICAL UNLESS NOTED OTHERWISE

**EXTERIOR KEYNOTES**

- 1 HARDIE PLANK - SHINGLES PER CONTRACTOR W/ OWNER'S APPROVAL
- 2 HARDIE PLANK - LAP SIDING PER CONTRACTOR W/ OWNER'S APPROVAL
- 3 PAINTED CMU MASONRY ENTRY ROOF COLUMN W/ SLOPED CONIC CAP
- 4 PAINTED OR STAINED GLASS/PANED ENTRY CANOPY MEMBERS PER DETAILS - REF. AA.3 & STRUCTURAL STRUCTURAL TO SUPERSEDE
- 5 PRE-FINISHED OR PAINTED FIBER CEMENT SOFFIT
- 6 COMPOSITION ROOFING Presidential Series Composition Shingles by CertainTeed (BASE OF DESIGN) COLOR PER CONTRACTOR W/ OWNER'S APPROVAL
- 7 VINYL WINDOW - (7' INDICATES ACCESSIBLE WINDOW) - SEE SCHEDULE & TRM DETAILS ON AA.1. COLOR PER CONTRACTOR W/ OWNER'S APPROVAL
- 8 DOOR AND FRAME - SEE SCHEDULE & TRM DETAILS ON AA.1. COLOR PER CONTRACTOR W/ OWNER'S APPROVAL
- 9 FABRICATED POWDER COATED GUARDRAILING SYSTEM, SEE SBA/AA.3
- 10 CONCRETE TREAD OVER METAL PAN STAIRS
- 11 UNDERLIE OF METAL PAN STAIRS PAINTED OR COVERED W/ FIBER CEMENT SOFFIT PER CONTRACTOR
- 12 PAINTED 2" FASGIA OR DECK LEAH PER 1A/AS.1
- 13 PAINTED OR STAINED 6x6 WOOD COLUMN PER STRUCTURAL ON ISOLATED FOOTING W/ 4" EXPOSURE
- 14 2x12 PAINTED "FOREST TRIM" SFF FINGER JOINTED WOOD FASGIA
- 15 2x12 PAINTED "FOREST TRIM" SFF FINGER JOINTED WOOD HORIZ. TRIM BAND W/ PAINTED WALL FLASHING/ZIP EDGE OVER TOP MATCH TYPICAL FLASHING COLOR
- 16 LANDING/FLOOR EDGE W/ 2x12 PAINTED "FOREST TRIM" SFF FINGER JOINTED WOOD HORIZ. TRIM BAND SH. TO DETAIL 1A/AS.1

**DW**  
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1485 NW KNOLL BLVD. SUITE 101 BEND, OREGON 97703

**SEABIRD APARTMENTS  
16-PLEX**

Prepared for Owner: James M. Murry, Jr. & Investors

**BUILDING ELEVATIONS**

PROJECT NO.	21008
DRAWN BY	HW
CHECKED BY	PS




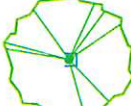

DATE	04/01/21
INCEDED SET	
LAND USE SUBMITTAL	

**A3.1**







**PLANT KEY**









NOTE: SEE PLANT LIST FOR SIZES AND QUANTITIES









**TREES**







-  **Acer circinatum**  
Vine Maple  
Deciduous, mod. water, full sun-shade, mod growth, multi-stemmed, shrubby, spreading habit to 10-20'h x 20'w, reddish new bark leaves soft green turning red-orange-yellow in fall, red winged seed pods in fall. Native.
-  **Acer palmatum**  
Japanese Maple  
Deciduous tree, med. water, full sun to part shade, round habit, moderate growth to 20'h x 20'w green leaves, fall color.
-  **Acer rubrum 'Franksred'**  
Red Sunset Maple  
Deciduous, mod. water, fast growth to 35'h x 35'w, cut leaves with 3-5 lobes green turn brilliant orange-red early fall. Tolerates acidic, clay & wet soil, fire wise.
-  **Pinus contorta 'Contorta'**  
Shore Pine  
Evergreen, low water, native, full sun, irregular broadly rounded habit to 45'h x 30'w, 1-3" deep green needles, Hardy in coastal conditions.
-  **Prunus caroliniana**  
Carolina Laurel Cherry  
Evergreen, mod. water, to 20'h x 15-20'w, med. green leaves.


**SHRUBS**

-  **Arctostaphylos Uva Ursi 'Massachusetts'**  
Massachusetts Kinnikinnick  
Evergreen, low water, full sun-part shade, prostrate compact growth to .5-1'h x 3-6'w, small medium-dark green leaves turn bronze in winter, white to pinkish flowers late spring-summer, red fruit in winter. Tolerates drought, coastal conditions, wet & poor soil.
-  **Barbaris thunbergii 'Orange Rocket'**  
Orange Rocket Barberrry  
Deciduous, low water, to 4'h x 2'w, upright habit with orange-red leaves. Hardy to -20', deer resistant.
-  **Buddleia davidii**  
Butterfly Bush  
Semi-Evergreen, med. water, 4-6'h x 4-6'w, tapering green leaves, lavender spike-like fragrant flowers, spring-summer. May die back to ground in cold winters. Deer resistant.
-  **Carex lasiocarpa**  
Orange Sedge  
Evergreen, mod. water, full sun tolerates part shade, weeping habit to 2'h x 2.5'w, narrow green to orange leaves, brown flowers in summer, well drained soil. Deer resistant, hardy to <15'.
-  **Ceanothus 'Dark Star'**  
Dark Star Ceanothus  
Evergreen, low water, full-sun to part shade, mounding shrub to 5-8'h x 8-10'w, tiny dark green leaves, profuse bloom of cobalt-blue fragrant clusters. Drought tolerant, deer resistant, native.
-  **Ceanothus glaucus 'Point Reyes'**  
Point Reyes Ceanothus  
Evergreen, low water, part shade to full sun, still growth to 1.5'h x 12-16'w, dark glossy green oval leaves, lt. blue flowers in short clusters late winter-spring. Drought tolerant, deer resistant, native. Does not take summer heat.




-  **Cistus x laevis 'Snow White'**  
Snow White Rockrose  
Evergreen, low water, full sun, mod. growth to 6'h x 6'w, bright green undulating foliage, white flowers mid spring-early fall. Deer resistant, attracts bees & butterflies, tolerates drought, wind, salt & heat.
-  **Cistus x pulverulentus 'Sunset'**  
Sunset Rockrose  
Evergreen, low water, dense spreading growth to 2'h x 6-8'w, gray-green leaves, dark magenta-pink flowers.
-  **Cistus purpureus**  
Orchid Rockrose  
Evergreen, low water, to 4'h x 4'w, dk. green leaves, reddish-purple flowers, spring-summer. Deer resistant.
-  **Cornus alba 'Elegantissima'**  
Variegated Red Twig Dogwood  
Deciduous, mod. water, to 6-8'h x 4-6'w, variegated foliage with white margins, fragrant white flowers followed by white berries in fall. Attractive red bark.
-  **Euonymus fortunei 'Emerald Gaiety'**  
Emerald Gaiety Winter creeper  
Evergreen shrub, med. water, full sun, moderate growth, 2-3'h x 3-6'w, variegated foliage turns pinkish in cold winter climates, inconspicuous flower in spring. Fire wise, seacoast exposure, borders.
-  **Euonymus japonicus 'Green Spire'**  
Green Spire Euonymus  
Evergreen, mod. water, part to full sun, columnar growth to 6-8'h x 2'w, deep green foliage, takes shearing into formal hedge.
-  **Gaultheria shallon**  
Solal  
Evergreen, low water, to 4-6'h x 4-6'w in shade, glossy bright green leaves, white-pinkish flowers in spring. Native.
-  **Hebe 'Patty's Purple'**  
Patty's Purple Hebe  
Evergreen, med.water, dense growth, 3'h x 3'w, wine red stems, tiny dark green leaves, purple flowers on thin spikes in late summer-fall. Sun or part shade.

-  **Helictotrichon sempervirens 'Blue Oat'**  
Blue Oat Grass  
Evergreen, mod. water, clumping ornamental grass to 2-3'h x 2-3'w, powder blue foliage creates bold look. Full sun, drought tolerant once established.
-  **Lavandula angustifolia 'Munstead'**  
Munstead Lavender  
Evergreen, med. water, to 1.5'h x 2'w, med. green foliage, bright lavender flowers, long bloomer.
-  **Lithodora diffusa 'Heavenly Blue'**  
Heavenly Blue Lithodora  
Evergreen, med. water to 1'h x 3-4'w, sm. dark green leaves, blue flowers. Good in mild summer climates.
-  **Lonicera involucrata**  
Black Twinberry  
Deciduous, mod. water, sun-part shade, to 6-10'h x 6-10'w, leaves med. green & hairy beneath, yellow bloom June-July. Drought tolerant, deer resistant, attracts birds & butterflies, native.
-  **Mahonia aquifolium**  
Oregon Grape  
Evergreen shrub, low water, dense erect growth to 6'h x 5'w, glossy green leaves with spiny leaflets, turning purple in winter, yellow spikelike flowers in spring. Native, drought tolerant.
-  **Pennisetum alopecuroides 'Homeln'**  
Dwarf Fountain Grass  
Ornamental grass, low water, full sun to part shade, dense clump to 3'h x 3'w, green foliage with showy white plumes. Tolerates drought, erosion, wet soil.
-  **Phlomis fruticosa 'Edward Bowels'**  
Jerusalem Sage  
Evergreen perennial, low water, sun-part shade, to 3-4'h x 5-6'w, spade-like leaves with furry green tops, silver underneath, yellow flowers in ball-shape whorls in spring-summer. Deer resistant.
-  **Picea pungens alouca globosa**  
Globe Blue Spruce  
Evergreen, med. water, broad compact stiff growth to 4-5'h x 5-6'w, horizontal silver blue needles. Deer resistant.

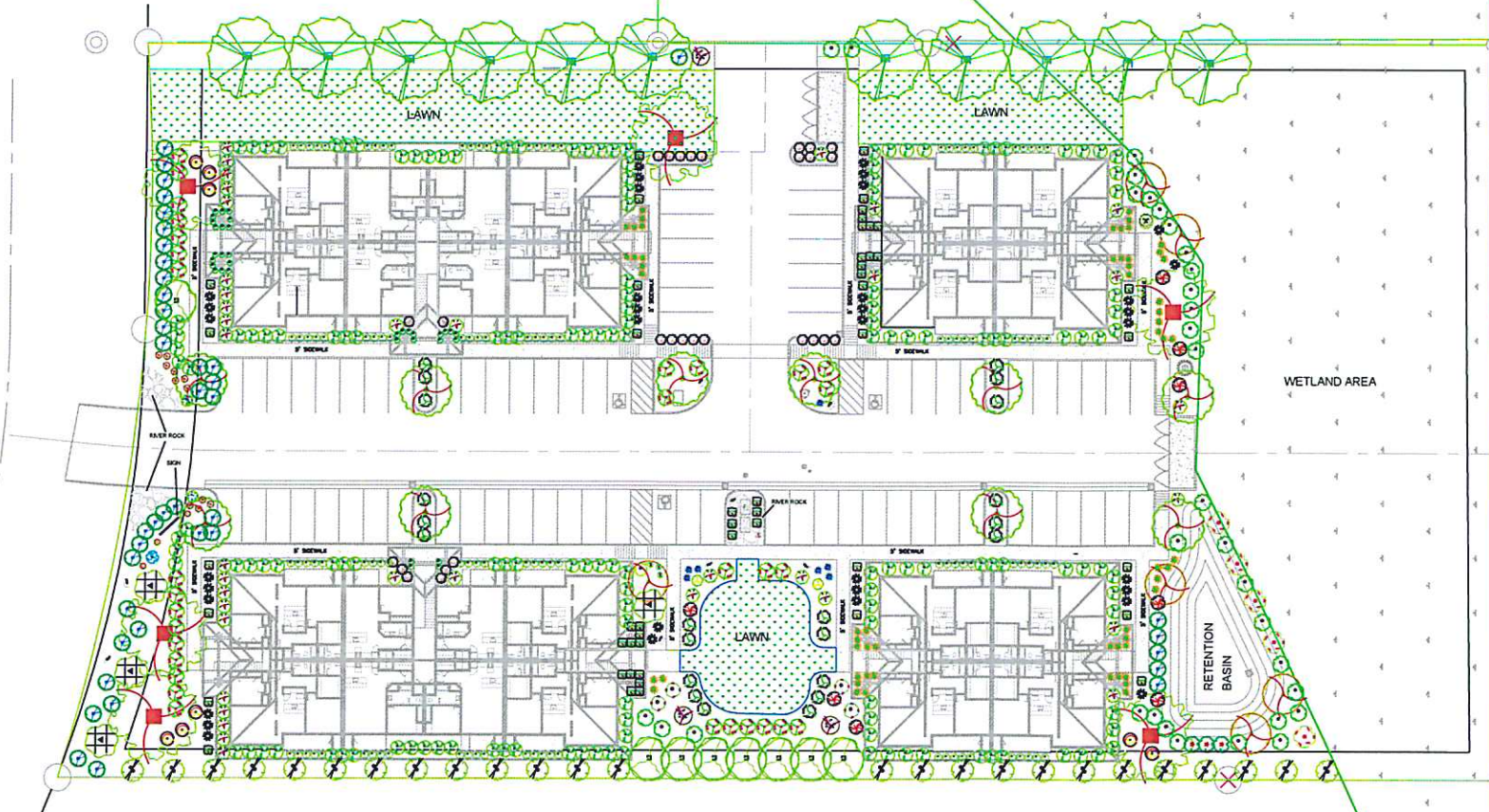
-  **Pieris japonica 'Fire N Ice'**  
Fire N Ice Lily of the Valley  
Evergreen, mod. water, acid soil, part shade, slow compact growth to 5'h x 5'w, new growth red and white in spring, green foliage in summer deep green, showy white flowers in spring. Low maint., specimen, needs good drainage.
-  **Pieris japonica 'Little Heath'**  
Little Heath Pieris  
Evergreen, mod. water, acid soil, part shade-sun, neatly rounded shape to 2'h x 2'w, foliage reddish new growth turns greenish with creamy white edge, showy pendant white flowers in late winter-early spring. Low maint., needs good drainage.
-  **Pinus mugo 'Mugo'**  
Dwarf Mugo Pine  
Evergreen, low water once established, slow growing dense mound to 4-8'h x 8-16'w, part shade-full sun, short green needles, variable habit.
-  **Ribes ssp. 'King Edward VII'**  
Red Flowering Currant  
Deciduous shrub, low-mod. water sun-part shade, dense habit to 5-12'h x 5-12'w, mopelike, dark green leaves, showy deep pinkish-red flower clusters in spring, blue-black fruit.
-  **Rubus pentstemonifolius (R. rufus)**  
Creeping Raspberry  
Evergreen, low water, full sun, coarse creeping habit to 6-12'h x 6'w, prickled stems have green lobed leaves, white flowers in spring, yellow-orange fruit. Drought tolerant, bees & butterflies, deer resistant, hardy in difficult areas.
-  **Vaccinium ovatum**  
Evergreen Huckleberry  
Evergreen, mod. water, sun-shade, erect growth to 3-10'h x 5-10'w, reddish new growth turns to leathery dark green leaves, spring white or pinkish flowers followed by black edible berries. Native.

-  **Viburnum davidii**  
David's Viburnum  
Evergreen, mod. water, part shade, acid soil, compact mound to 3-4'h x 3-4'w, handsome glossy dark green deeply veined leaves, white flowers in 3" clusters in spring. Deer resistant.

**GROUNDCOVER**

 RIVER ROCK: 3"	580 SQ. FT.
 LAWN	10,470 SQ. FT.
 NATIVE SOIL	27,970 SQ. FT.
TOTAL LANDSCAPE AREA: 38,970 SQ. FT.	

**SEABIRD DRIVE**



**CONCEPTUAL PLAN NOTES**

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1. AN AUTOMATIC IRRIGATION SYSTEM USING A SMART CONTROLLER AND UNDERGROUND PIPING SHALL BE USED. A BACKFLOW DEVICE SHALL BE INSTALLED AFTER THE LANDSCAPE POINT OF CONNECTION PER CITY AND COUNTY REQUIREMENTS. THE IRRIGATION SYSTEM SHALL PROVIDE ADEQUATE COVERAGE OF THE SITE AND MAINTAIN PLANT HEALTH AND SURVIVABILITY.

**PLANTING**

1. THE LANDSCAPE PLAN SHALL INCLUDE TREES AND SHRUBS SUITABLE FOR THE CLIMATE AND MEET THE COVERAGE REQUIREMENTS PER CITY STANDARDS.
2. STREET TREES PLANTED IN THE CITY RIGHT OF WAY SHALL BE FROM THE APPROVED STREET TREE LIST.
3. A COMBINATION OF PLANT MATERIAL AND MULCH SHALL BE USED TO PROVIDE ADEQUATE COVERAGE OF ALL PLANTERS.
4. THE PLANTING SHALL BE MAINTAINED BY THE OWNER TO MATCH THE APPROVED LANDSCAPE PLANS. PLANTS NOT IN GOOD HEALTH OR MISSING SHALL BE REPLACED.



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**CITY OF BANDON**

CHECKED BY: \_\_\_\_\_

DATE: \_\_\_\_\_

**SUE MATHIS**  
LANDSCAPE ARCHITECT, OR #683

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BROOKINGS, OREGON 97115-8003  
(541) 813-1343 Mobile (866) 256-4261

REVISIONS

REGISTERED  
683  
NOT FOR  
CONSTRUCTION  
SUSAN M. MATHIS  
OREGON  
03-30-2017  
LANDSCAPE ARCHITECT

OWNER/DEVELOPER:  
**DAVID WALDRON & ASSOCIATES-ARCHITECTS**  
1465 SW KNOLL AVENUE, STE 102  
BEND, OR 97702

CONTACT: DAVID WALDRON  
PHONE (541) 588-0917

CONTRACTOR:

PROJECT:

**SEABIRD APARTMENTS**

SEABIRD DRIVE  
BANDON, OR 97411

TAX LOT 1402, PARCEL 2

SHEET TITLE:

**CONCEPTUAL LANDSCAPE PLAN**

Project No.: **JN 837**  
Date: **4-30-2021**  
Checked: **SMM**  
Drawn: **SMM**

CAD File:  
**837-Seabird Apts**






SHEET

**LC**







1 OF 1 SHEETS









**PLANT KEY**  
NOTE: SEE PLANT LIST FOR SIZES AND QUANTITIES









**TREES**







-  **Acer circinatum**  
Vine Maple  
Deciduous, mod. water, full sun-shade, mod growth, multi-stemmed, shrubby, spreading habit to 10-20'h x 20'w, reddish new bark leaves soft green turning red-orange-yellow in fall, red winged seed pods in fall. Native.
-  **Acer palmatum**  
Japanese Maple  
Deciduous tree, med. water, full sun to part shade, round habit, moderate growth to 20'h x 20'w green leaves, fall color.
-  **Acer rubrum 'Franksred'**  
Red Sunset Maple  
Deciduous, mod. water fast growth to 35'h x 35'w, cut leaves with 3-5 lobes green turn brilliant orange-red early fall. Tolerates acidic, clay & wet soil, fire wise.
-  **Pinus cantaria 'Cantaria'**  
Shore Pine  
Evergreen, low water, native, full sun, irregular broadly rounded habit to 45'h x 30'w, 1-3" deep green needles, Hardy in coastal conditions.
-  **Prunus caroliniana**  
Carolina Laurel Cherry  
Evergreen, mod. water, to 20'h x 15-20'w, med. green leaves.


**SHRUBS**

-  **Arctostaphylos uva-ursi 'Massachusetts'**  
Massachusetts Kinnikinnick  
Evergreen, low water, full sun-part shade, prostrate compact growth to 5-1'h x 3-6'w, small medium-dark green leaves turn bronze in winter, white to pinkish flowers late spring-summer, red fruit in winter. Tolerates drought, coastal conditions, wet & poor soil.
-  **Berberis thunbergii 'Orange Rocket'**  
Orange Rocket Barberry  
Deciduous, low water, to 4'h x 2'w, upright habit with orange-red leaves. Hardy to -20', deer resistant.
-  **Buddleia davidii**  
Butterfly Bush  
Semi-Evergreen, med. water, 4-6'h x 4-6'w, tapering green leaves, lavender spike-like fragrant flowers, spring-summer. May die back to ground in cold winters. Deer resistant.
-  **Carex lasiocarpa**  
Orange Sedge  
Evergreen, mod. water, full sun tolerates part shade, weeping habit to 2'h x 2.5'w, narrow green to orange leaves, brown flowers in summer, well drained soil. Deer resistant, hardy to <15'.
-  **Ceanothus 'Dark Star'**  
Dark Star Ceanothus  
Evergreen, low water, full-sun to part shade, mounding shrub to 5-8'h x 8-10'w, tiny dark green leaves, profuse bloom of cobalt-blue fragrant clusters. Drought tolerant, deer resistant, native.
-  **Ceanothus glaucus 'Point Reyes'**  
Point Reyes Ceanothus  
Evergreen, low water, part shade to full sun, stiff growth to 1.5'h x 12-16'w, dark glossy green oval leaves, ll. blue flowers in short clusters late winter-spring. Drought tolerant, deer resistant, native. Does not take summer heat.




-  **Cistus x lanus 'Snow White'**  
Snow White Rockrose  
Evergreen, low water, full sun, mod. growth to 6'h x 8'w, bright green undulating foliage, white flowers mid spring-early fall. Deer resistant, attracts bees & butterflies, tolerates drought, wind, salt & heat.
-  **Cistus x pulverulentus 'Sunset'**  
Sunset Rockrose  
Evergreen, low water, dense spreading growth to 2'h x 6-8'w, gray-green leaves, dark magenta-pink flowers.
-  **Cistus purpureus**  
Orchid Rockrose  
Evergreen, low water, to 4'h x 4'w, dk. green leaves, reddish-purple flowers, spring-summer. Deer resistant.
-  **Cornus alba 'Elegantissima'**  
Variegated Red Twig Dogwood  
Deciduous, mod. water, to 6-8'h x 4-6'w, variegated foliage with white margins, fragrant white flowers followed by white berries in fall. Attractive red bark.
-  **Euonymus fortunei 'Emerald Gaiety'**  
Emerald Gaiety Winter creeper  
Evergreen shrub, med. water, full sun, moderate growth, 2-3'h b 3-6'w, variegated foliage turns pinkish in cold winter climates, inconspicuous flower in spring. Fire wise, seacoast exposure, borders.
-  **Euonymus japonicus 'Green Spire'**  
Green Spire Euonymus  
Evergreen, mod. water, part to full sun, columnar growth to 6-8'h x 2'w, deep green foliage, takes shearing into formal hedge.
-  **Gaultheria shallon**  
Salal  
Evergreen, low water, to 4-6'h x 4-6'w in shade, glossy bright green leaves, white-pinkish flowers in spring. Native.
-  **Hebe 'Patty's Purple'**  
Patty's Purple Hebe  
Evergreen, med. water, dense growth, 3'h x 3'w, wine red stems, tiny dark green leaves, purple flowers on thin spikes in late summer-fall. Sun or part shade.

-  **Helectraichon sempervirens 'Blue Out'**  
Blue Out Grass  
Evergreen, mod. water, clumping ornamental grass to 2-3'h x 2-3'w, powder blue foliage creates bold look. Full sun, drought tolerant once established.
-  **Leucanthes anostylis 'Munstead'**  
Munstead Lavender  
Evergreen, med. water, to 1.5'h x 2'w, med. green foliage, bright lavender flowers, long bloomer.
-  **Lithodora diffusa 'Heavenly Blue'**  
Heavenly Blue Lithodora  
Evergreen, med. water, to 1'h x 3-4'w sm. dark green leaves, blue flowers. Good in mild summer climates.
-  **Lonicera involucrata**  
Black Twinstery  
Deciduous, mod. water, sun-part shade, to 6-10'h x 6-10'w, leaves med. green & hairy beneath, yellow bloom June-July. Drought tolerant, deer resistant, attracts birds & butterflies, native.
-  **Mahonia aquifolium**  
Oregon Grape  
Evergreen, low water, dense erect growth to 6'h x 5'w, glossy green leaves with spiny leaflets, turning purple in winter, yellow spikelike flowers in spring. Native, drought tolerant.
-  **Pennisetum alopecuroides 'Hornet'**  
Dwarf Fountain Grass  
Ornamental grass, low water, full sun to part shade, dense clump to 3'h x 3'w, green foliage with showy white plumes. Tolerates drought, erosion, wet soil.
-  **Phlomis fruticosa 'Edward Bowels'**  
Jerusalem Sage  
Evergreen perennial, low water, sun-part shade, to 3-4'h x 5-6'w, spade-like leaves with furry green tops, silver underneath, yellow flowers in ball-shape whorls in spring-summer. Deer resistant.
-  **Pinus pungens glauca glabosa**  
Globe Blue Spruce  
Evergreen, mod. water, broad compact stiff growth to 4-5'h x 5-6'w, horizontal silver blue needles. Deer resistant.

-  **Pieris japonica 'Fire N Ice'**  
Fire N Ice Lily of the Valley  
Evergreen, mod. water, acid soil, part shade, slow compact growth to 5'h x 5'w, new growth red and white in spring, green foliage in summer deep green, showy white flowers in spring. Low maint., specimen, needs good drainage.
-  **Pieris japonica 'Little Heath'**  
Little Heath Pieris  
Evergreen, mod. water, acid soil, part shade-sun, neatly rounded shape to 2'h x 2'w, foliage reddish new growth turns greenish with creamy white edge, showy pendant white flowers in late winter-early spring. Low maint., needs good drainage.
-  **Pinus mugo 'Mugo'**  
Dwarf Mugo Pine  
Evergreen, low water once established, slow growing dense mound to 4-8'h x 8-16'w, part shade-full sun, short green needles, variable habit.
-  **Ribes sanguineum 'King Edward VII'**  
Red Flowering Currant  
Deciduous shrub, low-mod. water sun-part shade, dense habit to 5-12'h x 5-12'w, mottled, dark green leaves, showy deep pinkish-red flower clusters in spring, blue-black fruit.
-  **Rubus pentalobus (R. roffei)**  
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Evergreen, low water, full sun, coarse creeping habit to 6-12'h x 6'w, prickled stems have green lobed leaves, white flowers in spring, yellow-orange fruit. Drought tolerant, bees & butterflies, deer resistant, hardy in difficult areas.
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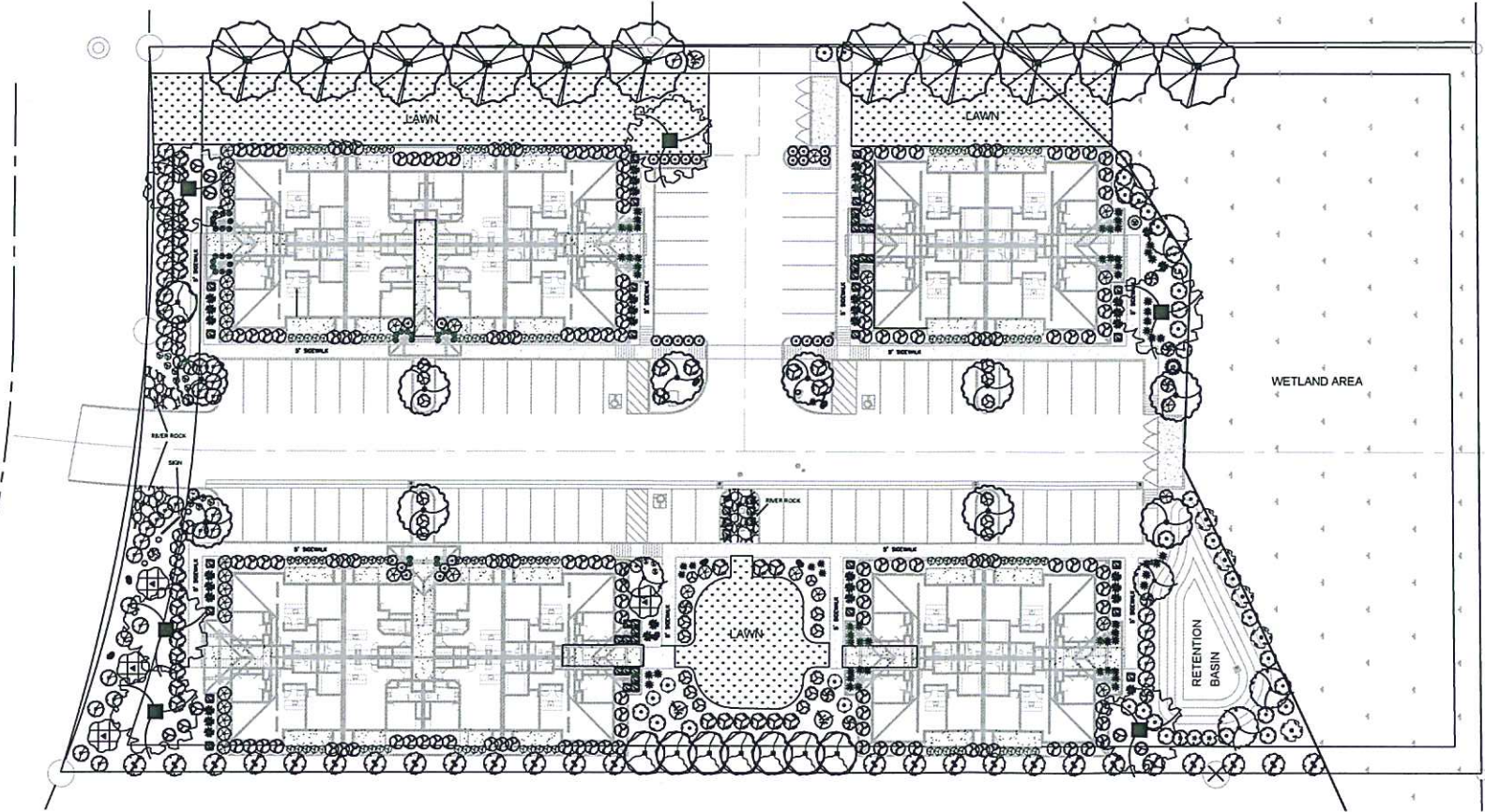
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SEABIRD DRIVE



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CHECKED BY:  
DATE:

**SUE MATHIS**  
LANDSCAPE ARCHITECT, OR #658  
1630 LOWER HANCOCK RD. STE 1-137  
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(541) 813-1343 Mobile (606) 256-4261

REVISIONS

OWNER/DEVELOPER:  
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PROJECT:  
**SEABIRD APARTMENTS**  
SEABIRD DRIVE  
BANDON, OR 97411  
TAX LOT 1402, PARCEL 2

SHEET TITLE:  
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**SHEET**  
**LC**  
1 OF 1 SHEETS