

RECEIVED



Planning Permit Application

APR 15 2021

BY: [Signature]

CITY OF BANDON PLANNING
P.O. BOX 67
555 HWY 101
BANDON, OR 97411
P:(541) 347-2437
F:(541)347-1415

Permit Number:

APPLICATION TYPE (select all that apply)
Table with 3 columns: Application Type, Land Use Review, Subdivision, etc.
Includes checkboxes for Annexation, Certificate of Appropriateness, etc.
Total Fees: \$

I. PROJECT LOCATION
Street Address: TBD Beach Loop Rd Bandon
Map Number / Tax Lot(s): 28815W30B31700
Zone:
Floodplain: Yes No

II. APPLICANT'S INFORMATION (applicant is the primary party responsible for development)
Applicant's Name: Boundon Breeze LLC
Phone: 951-333-6394
E-Mail:
Applicant's Mailing Address: 2114 Ash St North Bend OR 97459

III. PROPERTY OWNER'S INFORMATION
Property Owner's Name: Same
Phone:
E-mail:
Mailing Address:

IV. OTHER INFORMATION (APPLICANT'S REP, SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, ETC)
Table with 3 columns: Title, Name, Phone. Multiple rows for different professionals.

V. PROJECT DESCRIPTION
Use: [X] Residential [] Commercial [] Other
*Please attach a short narrative that describes your proposed project and indicates the proposed use.
new 2246 sq ft home

VI. SITE PLAN: Please see our "How to Create a Site Plan" and sample site plan document for requirements and tips on how to create your site plan. Plans must be drawn to scale and may be submitted electronically; printed copies must be submitted on 11x17, ledger size paper (larger or smaller paper sizes will not be accepted).

VII. PROPERTY OWNER SIGNATURE/AUTHORIZATION	
<ul style="list-style-type: none"> I have read the application and the attached documentation and I understand that my application may be delayed or deemed incomplete if I have provided insufficient information and documentation to allow for approval. I certify that the information provided in this application, including all submittals and attachments, is true and correct to the best of my knowledge. I understand and agree that all required inspections will be requested 2 business days in advance, and it is the applicant's responsibility to ensure required inspections have been requested, completed, and approved. I authorize the City of Bandon or its acting agent, to enter onto the subject property, as described in section "I. Project location". I authorize the following party(s) to act as applicant in regard to the attached application for the subject property described above. 	
X Applicant's Signature:	Date:
<i>Property owner's signature required if applicant is not the property owner</i>	
X Property Owner's Signature:	Date:

Development Disclosure

The City of Bandon is obligated to report all ground disturbances within the City of Bandon to the Coquille Indian Tribe. Property owners and applicants must adhere to all conditions and requirements set out by the Coquille Indian Tribe, State Historic Preservation Office (SHPO) or both if required. Please be aware that state statutes and federal law govern how archaeological sites are to be managed. ORS 97.745 prohibits the willful removal, mutilation, defacing, injury, or destruction of any cairn, burial, human remains, funerary objects, or objects of cultural patrimony of a Native Indian. ORS 358.920 prohibits excavation, injury, destruction, or alteration of an archaeological site or object, or removal of an archaeological object from public or private lands.

It is the property owner and applicant's responsibility to determine if additional permits from other agencies will be required, including but not limited to: Oregon State Building Codes, Oregon State Department of Environmental Quality, FEMA, Oregon State Fish and Wildlife and U.S. Fish and Wildlife. If additional permits are required, it is the responsibility of the property owner/applicant to obtain such permits and comply with their conditions of approval.

It is the property owner/applicant's responsibility to provide the City of Bandon all necessary legal documentation related to the property, including but not limited to: proof of ownership, receipts, deed restrictions, vacation records, easement records, etc.

I acknowledge, understand, and agree, that all relevant documentation will be provided to the City of Bandon, and that all required permits and consent will be obtained prior to the start of construction, with all conditions of approval adhered to.	
X	
<i>Property Owner's Signature (Property owner's signature required if applicant is not the property owner)</i>	<i>Date</i>
X	
<i>Applicant's Signature</i>	<i>Date</i>

Staff's Signature of Intake: _____ Date: _____

Staff's Signature of Completeness: _____ Date: _____

Staff's Signature of Approval: _____ Date: _____

Submittal Requirements:

1. Completed Pre-Application with summary notes from the Planning Department (if applicable)
2. Complete Planning Permit application (including fees and applicable property records)
3. Signed Development Disclosure
4. Completed Submittal Requirement sheet

Site Plan Requirements (please check that you have completed each of the following)

- Setbacks on all sides of the property (must be marked from the closest structure to the property line)
- Property line must be clearly marked on all sides - if property corners cannot be determined a survey will be required.
- Location of all buildings and proposed building or addition
- Location of all mechanical equipment and proposed equipment (HVAC, propane tanks and enclosures - these cannot be located in the setback area)
- Fences, patios, sidewalks, (if being built along with the construction of a building)
- Decks, steps, porches (these cannot be located in the setback)
- All off-street parking
- Location of the front entrance and all exterior doorways
- Location & material of the driveway
- Direction of roof drainage
- Drywell, if required (must be engineered)
- Location of electric meter base (on the front or no farther than 5 feet down the side)
- Proposed water and sewer line locations
- Water shut off valve must be located beside the water meter box; 6" sewer clean out must be at the property line
- Square footage of the lot, structures including garage (1st & 2nd floors noted separately), and percentage of impermeable surface. (Impermeable surfaces must be shown on the site plan)

Design Feature Requirements (Please check your selections)

Homes in the R-1 and R-2 zones require a minimum of 6 (at least 3 on the face of the home)

Homes in the CD zones require a minimum of 8 (at least 4 on the face of the home)

- | | |
|---|---|
| <input type="checkbox"/> Roof pitch at or greater than 3/12 | <input type="checkbox"/> Bay windows |
| <input type="checkbox"/> Covered porch - (minimum of 25 square feet) | <input type="checkbox"/> Cupolas |
| <input type="checkbox"/> Tile or Architectural grade shingles (not composition shingle) | <input type="checkbox"/> Hip roof |
| <input type="checkbox"/> Off set of the building face or roof (at least one foot, minimum of 2 feet in cd-1 & cd-2 zones) | <input type="checkbox"/> Pillars or posts |
| <input type="checkbox"/> Eaves with a minimum projection of six (6) inches | <input type="checkbox"/> Mullioned windows |
| <input type="checkbox"/> Horizontal lap siding, cedar shake or shingle on 100% of the exterior | <input type="checkbox"/> Window shutters |
| <input type="checkbox"/> Recessed entry area (minimum depth of three feet) | <input type="checkbox"/> Clerestory windows |
| <input type="checkbox"/> Garage (constructed with exterior finish materials matching the residence) | <input type="checkbox"/> Dormers |
| <input type="checkbox"/> Combination of cedar shake and shingle siding or lap siding with stone | <input type="checkbox"/> Gables |

Additional Required Plans

- Floor plan - Including garage (before and after drawings must be included for remodel/additions)
- Elevation of all structures - All sides must show direction, dimensions, height, design features and depth of eaves/gutters.
- Grade of property and/or grading plan
- Foundation plan for all construction - (for a manufactured home the slab & runner system)
- DEQ septic system permit & plan drawings - (if applicable)
- Geotechnical report - (if applicable)
- Drainage plan - (with engineered drawings if applicable)
- Engineered foundation - (if applicable)

YOUR APPLICATION WILL BE DEEMED INCOMPLETE IF YOUR SITE PLAN FAILS TO LIST ALL REQUIRED INFORMATION, INCLUDING DESIGN FEATURE REQUIREMENTS WHICH MUST ALSO BE SHOWN IN YOUR SUBMITTED ELEVATION PLANS.

INSPECTION SCHEDULE: All city inspections must be requested at least 2 business days in advance. Failure to schedule or complete required inspections may delay the final approval of your project.

Code Compliance Inspection List:

Inspection # 1: Compliance with approved site plan Inspection required prior to pouring foundation footings.

Inspection # 2: Compliance with approved floor plans and elevation drawings - Inspection required after the roof trusses are placed but prior to any cover being installed.

Inspection # 3: Compliance with approved plans for drainage, utility service, off-street parking, any required street improvements, house numbering and authorized land use approvals. - Inspection required upon completion of structure and related site work, prior to occupancy. This inspection is done **AFTER** the State Building Codes inspectors have approved a final inspection for the project.

Public Works Inspection List:

Inspection # 1: Lot Drainage; Compliance with approved drainage plan - Inspection required prior to any drainage work.

Inspection # 2: Culvert; Compliance with approved plan - Inspection required prior to covering.

Inspection # 3: Water shut off control valve; per APWA Standards - Inspection required prior to covering.

Inspection # 4: Sewer lateral and clean out (6" at property line per Compliance with APWA Standards); Compliance with City requirements - Inspection required prior to covering.

Inspection # 5: Driveway: Per APWA Standards - Inspection required prior to pouring paving material.

Oregon Law allows the City up to 30 days to review an application to determine whether or not the application is "complete" or "incomplete." Planning staff strives to be responsive and minimize this review period. However, careful and thorough reviews lay a foundation for smoother and quicker subsequent review processes. A pre-application may be required prior to the submittal of an application. Please visit the City's website for submittal requirements <http://www.cityofbandon.org/general/page/welcome-planning-department>. Incomplete applications will not be scheduled for public hearing or plan review, until all of the required materials are submitted.

Other agency contacts:

City of Bandon	http://www.cityofbandon.org/	(541) 347-2437
State Building Codes (coos bay)	http://www.oregon.gov/bcd/permit-services/Pages/coos-county.aspx	(541) 266-1098
State Fire Marshall	http://www.oregon.gov/osp/sfm/Pages/index.aspx	(541) 618-7951
State Department of Environmental Quality (DEQ)	http://www.oregon.gov/DEQ/Pages/index.aspx	(541) 269-2721
U.S. Fish and Wildlife	https://www.fws.gov/	(541) 888-1470
Oregon Fish and Wildlife	http://www.dfw.state.or.us/	(541) 888-5515
Coquille Indian Tribe	http://www.coquilletribe.org/	(541) 756-0904
Coos County Planning Department	http://www.co.coos.or.us/Departments/Planning.aspx	(541) 396-7770
Coos County Assessor's Office	http://www.co.coos.or.us/Departments/Assessors.aspx	(541) 396-7900
FEMA (floodplain issues)	https://www.fema.gov/	
Department of State Lands (DSL)	http://www.oregon.gov/dsl/pages/index.aspx	

How to create a Site Plan

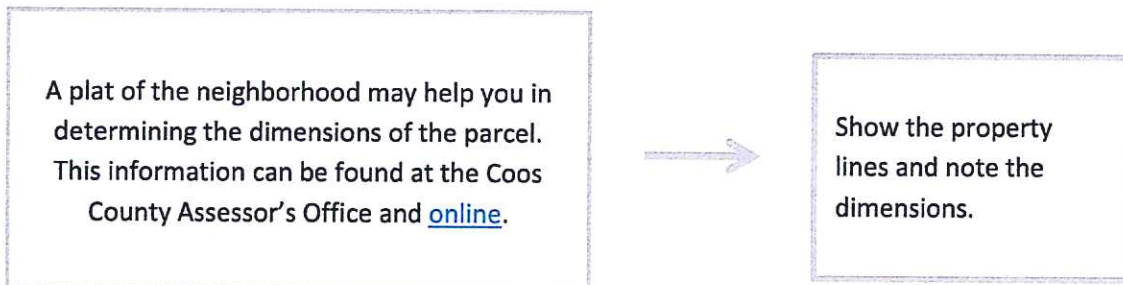
A **Site Plan** is a drawing of your property as seen from above that shows key information about your project. Listed below are key components of a site plan that must be included when applicable. Please draw clearly and accurately on 11" x 17" paper. No other paper size will be accepted.

1. Use a Scale

Choose a standard scale (Engineering or Architectural) and note the numeric scale used on plan (i.e. 1 inch = 20 feet).

2. Draw Property Lines

Label all dimensions in feet. Show surrounding streets.



3. Draw all Buildings and Structures on the Plan

Show existing buildings and structures as a solid line and all additions as a dashed line. Be sure to also show the precise footprint of all buildings or structures including, but not limited to steps, decks, porches, fences, eaves, gutters, and any meter boxes, propane tanks and HVAC platforms. Dashed lines should also be used to indicate changes above (roof) or below (septic) grade.

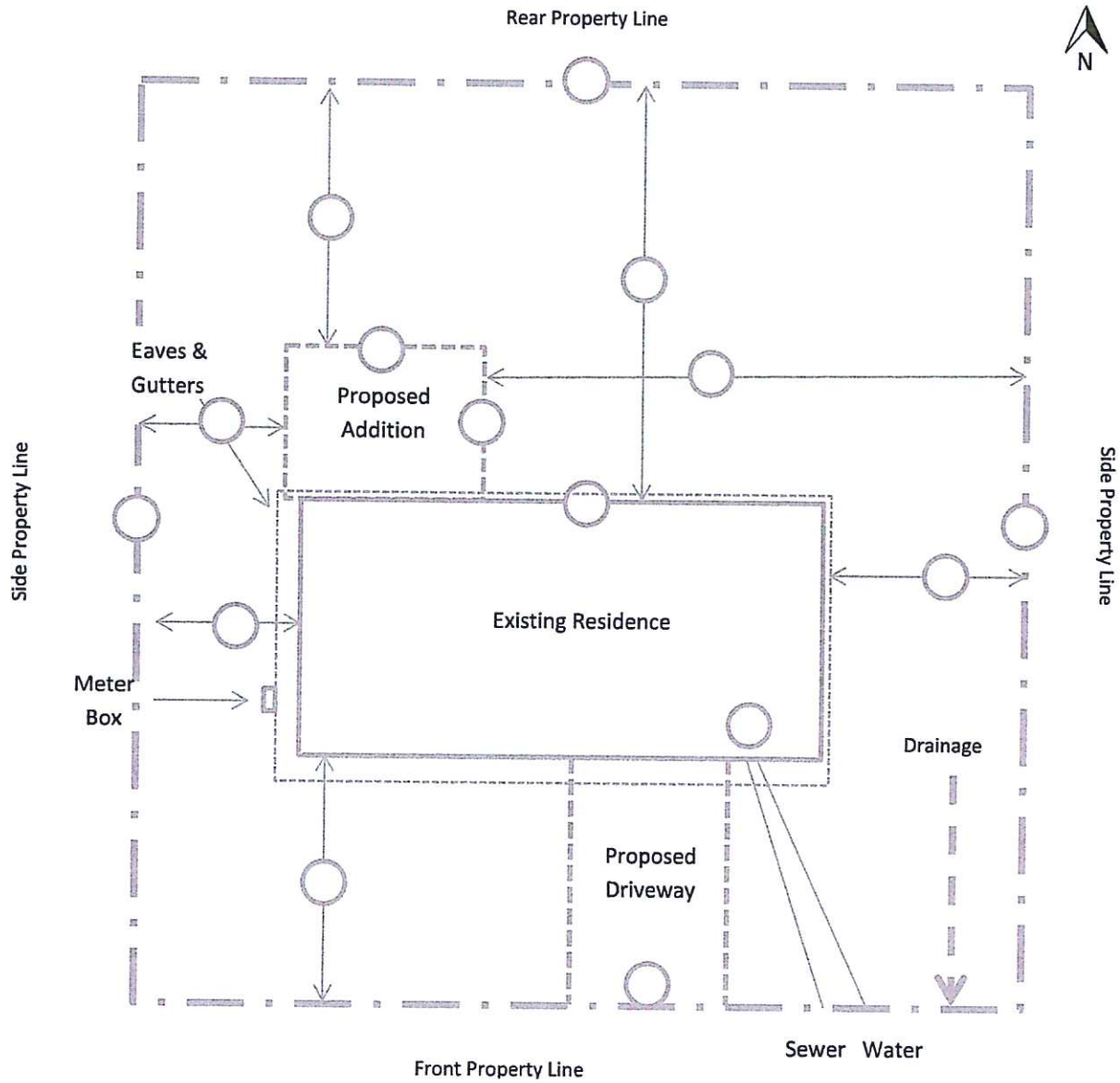
4. Draw Driveway and Parking on the Plan

Show all impermeable surfaces including parking areas, driveways, walkways, and patios in their precise locations in relation to your property lines and with their accurate footprint. Show proposed paved areas with a dashed line. You must also show the percent of your land that contains impermeable surfaces.

5. Other Items that must be on the Plan

- Tax Map #, Address, Property Owner, and north arrow. Drainage, meter box location, and required landscape buffers such as vision clearance.
- Required setbacks, any known easements, and water and sewer connection.
- Materials list for any hard surfaces may also be necessary
- Topographic information, including elevations and direction of slope.

Sample Site Plan



House Number and Street Name
Applicant's Name

- Additional information including: materials list for hard surfaces, location of meter box, known easements, applicable vision clearance, etc.

Note: On the site plan you create, please show distances in feet where you see circles shown on the Sample Site Plan above.

City of Bandon Development Fact Sheet

- System Development Charges (**SDCs**) must be paid in full or bonded prior to the release of your Zoning Compliance permit. SDCs may be bonded over 10 years at a 6% interest rate and are recorded as a lien against the subject property. *Please contact the Finance Department for more information about SDC Lien Agreements.*
- Water service may be applied for by requesting a Work Order. Water service requires a **\$500.00** deposit.
- If your building is over **2,500** square feet, 3" electrical conduit will be required.
- The City charges **actual** costs for water service installation. Your \$500.00 deposit is applied to the cost of installation, with any remaining balance being refunded or billed upon completion of the work.
- Sewer service requires inspection upon connection. Call the City to arrange a Work Order for the inspection.
- Electric service may be applied for by requesting a Work Order. Utility Department staff will inform you of the cost for your electric service. The City charges **actual** costs for electric service. You will be billed for those costs on your utility billing, or by a miscellaneous billing.
- All utilities are considered temporary until the City's final inspection has been completed and approved, and a Certificate of Occupancy has been issued
- A **Public Works Permit** must be completed for any construction activity in the City's right-of-way. Any damage done to the City's right-of-way must be repaired to the level of the improvement prior to the damage.
- The City will bill the property owner or contractor for engineering required by the City (drainage, streets, subdivisions etc.).
- The City may require a property survey prior to the #1 Code Compliance inspection.
- If the contractor or the applicant owes the City for utilities, engineering, service fees, etc. for any project, the Certificate of Occupancy will **not** be issued until payment has been made in full.
- Zoning Compliance permits **expire** one year after the date of issue. A one-time, six month extension may be requested. If an extension is not requested prior to expiration of your Zoning Compliance permit, you will be required to re-apply for a new permit.
- Ingress/egress at the construction site must be **graveled** so that dirt, mud, and debris from the construction site do not get on the sidewalk or street.
- The Utility Department requires a **legal description** (map & tax lot number or tax account number) in order to process an application for water and/or sewer service.
- All subdivisions, commercial developments, and residential developments **must** provide the City with as-built plans showing public improvements and utilities including but not limited to streets, signage, sidewalks, water, sewer, street drainage, street lights & electric.

Please remember to post your Zoning Compliance permit card on site



New Single Family Dwelling Combination Permit Application

Department of Consumer & Business Services
Building Codes Division • Coos Bay Field Office
1155 S. 5th St., Coos Bay, OR 97420
541-266-1098 • Fax: 541-266-1146 • TTY: 503-373-1358
oregon.gov/bcd

DEPARTMENT USE ONLY	
Permit no.:	
This project has final land-use approval: Signature:	DEQ approved: Signature:
<p>This permit is issued under OAR 918-460-0030. Permits expire if work is not started within 180 days of issuance or if work is suspended for 180 days.</p>	

Flood plain? <input type="checkbox"/> Yes <input type="checkbox"/> No	
LOCAL GOVERNMENT APPROVAL	
Zoning approval verified?	<input type="checkbox"/> Yes <input type="checkbox"/> No
APPLICANT INFORMATION	
Name:	Brandon Breeze LLC
Mailing address:	2111 Ash St
City/state/ZIP:	North Bend OR 97459
Phone:	541-333-6300
Mobile phone:	
Email:	
JOB SITE INFORMATION AND LOCATION	
Job site address:	130 Beach Loop Rd
City/state/ZIP:	Brandon OR 97411
Project name:	
Directions to job site:	
Parcel no.:	28515W36BB1700
ELECTRICAL CONTRACTOR INSTALLATION	
Business name:	Paneray LLC
Address:	PO Box 1426
City/state/ZIP:	North Bend OR 97459
Phone:	541-750-3160
Mobile phone:	
Fax:	
Email:	
CCB license no.:	189203
BCD license no.:	
Signing supervisor name & license no.:	
MECHANICAL CONTRACTOR INSTALLATION	
Business name:	Addex Heating
Address:	831 NW Highland St
City/state/ZIP:	Roseburg OR 97470
Phone:	541-672-1073
Mobile phone:	
Fax:	
Email:	
CCB license no.:	34851
LPG license no.:	
PLUMBING CONTRACTOR INSTALLATION	
Business name:	541 Plumbing
Address:	2932 Swan Ct
City/state/ZIP:	Roseburg OR 97471
Phone:	541-758-0237
Mobile phone:	
Fax:	
Email:	
CCB license no.:	214057
BCD license no.:	
Journeyman name & license no.:	

CONTRACTOR INSTALLATION		
Business name:	HiLine Homes	
Address:	3935 Yagers Grove Rd SE	
City/state/ZIP:	Salem OR 97317	
Phone:	503-589-1849	Mobile phone:
Fax:		
Email:	sbrazofsky@hilinehomes.com	
CCB license no.:	181052	
Signature:		
PROPERTY OWNER INFORMATION		
Name:		
Mailing address:		
City/state/ZIP:		
Phone:		Mobile phone:
Email:		
OWNER INSTALLATION		
Electrical	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Fire	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Foundation	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Framing	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Mechanical	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Plumbing	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Roofing	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Siding	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Structural	<input type="checkbox"/> Yes	<input type="checkbox"/> No
Windows	<input type="checkbox"/> Yes	<input type="checkbox"/> No
This installation is being made on residential or farm property owned by me or a member of my immediate family.		
Sign here:		
PRIMARY CONTACT		
Name:		
Phone:		
Email:		



440-5032-CB (4/19/COM)

VALUATION INFORMATION

Job description: <u>new 2246 sq home</u>	Total square footage (dwelling and attached garage): <u>2636</u>
	Building height <u>24</u> ft. <u>1</u> in no. of bathrooms: <u>3</u> no. of kitchens: <u>1</u>
	Decks / porches / covered patios <u>68</u> (total sq. ft.)
	Unfinished basement _____ (total sq. ft.)
	Living area sq. ft. <u>2246</u> (total sq. ft.)
	Garage sq. ft. <u>390</u> (total sq. ft.)
	Carport _____ (total sq. ft.)
	No. of stories: <u>1</u> Limited or restricted energy _____
Declared job value: \$	Temporary service 200 amps or less _____

PLUMBING

Water service: total linear feet:	Storm sewer: total linear feet:	Sanitary sewer: total linear feet:
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HEATING / COOLING

Type of fuel:							
Boiler	Electric <input checked="" type="checkbox"/>	Geothermal	LPG	Natural gas	Oil	Photovoltaic	Solid fuel
Other							
Secondary type of fuel:							
Boiler	Electric	Geothermal	LPG	Natural gas <input checked="" type="checkbox"/>	Oil	Photovoltaic	Solid fuel
Other							

	Qty		Qty
Air handling unit of up to 10,000 cfm		Air conditioner	
Air handling unit greater than 10,000 cfm		Furnace – up to 100,000 BTU	
Furnace – greater than 100,000 BTU		Floor furnace, including vent	
Heat pump		Evaporative cooler other than portable	
Suspended heater, recessed wall heater, or floor mounted unit heater	<u>10</u>	Mini split	
		Radiant in-floor heating system	

OTHER FUEL APPLIANCES

Wood / pellet stove		Water heater	
Gas or wood fireplace/ insert		Pool or spa heater, kiln	
Decorative gas fireplace		Oil tank / gas / diesel generators	
Chimney / liner / flue / vent		Installation domestic-type incinerator	

ENVIRONMENTAL EXHAUST AND VENTILATION

Range hood / other kitchen equipment	<u>1</u>	Attic / crawl space fans	
Ventilation system not a portion of heating or air-cooling system authorized by permit		Flue vent for water heater or gas fireplace	
Appliance vent installation not included in appliance permit		Clothes dryer exhaust	<u>1</u>
Other environmental exhaust / ventilation		Ventilation fan connected to single duct	<u>3</u>

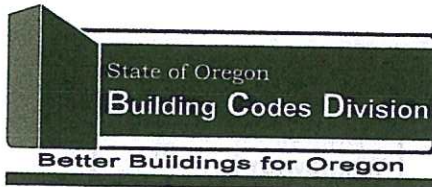
FUEL PIPING

Gas fuel piping outlets	
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TABLE N1101.1(2) ADDITIONAL MEASURES

Envelope Enhancement Measures (select one)	<input type="radio"/> 1	High efficiency walls Exterior walls - R-21 cavity insulation + R-5 Continuous
	<input type="radio"/> 2	Upgraded Features Exterior walls - R-23 intermediate or R-21 advanced, Framed floors - R-38, and Windows - U-0.28 or lower (average UA)
	<input type="radio"/> 3	Upgraded Features Exterior walls - R-23 intermediate or R-21 advanced, Flat Ceiling ^e - R-60, and Framed floors - R-38
	<input type="radio"/> 4	Super insulated Windows and Attic OR Framed Floors Windows - U-0.22 (Triple Pane Low-e), and Flat Ceiling ^e - R-60, or Framed floors - R-38
	<input type="radio"/> 5	Air sealing home and ducts Mandatory air sealing of all wall coverings at top plate and air sealing checklist ^f , and Mechanical whole-building ventilation system with rates meeting M1503 or ASHRAE 62.2, and All ducts and air handlers contained within building envelope ^d , or All ducts sealed with mastic ^b
	<input checked="" type="radio"/> 6	High efficiency thermal envelope UA^g Proposed UA is 8% lower than the code UA
Conservation Measure (select one)	<input type="radio"/> A	High Efficiency HVAC System^a Gas-fired furnace or boiler AFUE 94%, or Air source heat pump HSPF 9.5/15.0 SEER cooling, or Ground source heat pump COP 3.5 or Energy Star Rated
	<input checked="" type="radio"/> B	Ducted HVAC systems within conditioned space All ducts and air handlers contained within building envelope ^d <i>Cannot be combined with Measure 5</i>
	<input type="radio"/> C	Ductless heat pump Ductless heat pump HSPF 10.0 in primary zone of dwelling
	<input type="radio"/> D	High efficiency water heater^c Natural gas/ propane water heater with UEF 0.85, or Electric heat pump water heater Tier 1 Northern Climate Specification Product

- a. Appliances located within the building thermal envelope shall have sealed combustion air installed. Combustion air shall be ducted directly from the outdoors.
- b. All duct joints and seams sealed with listed mastic; tape is only allowed at appliance or equipment connections (for service and replacement). Meet sealing criteria of Performance Tested Comfort Systems program administered by the Bonneville Power Administration (BPA).
- c. Residential water heaters less than 55 gallon storage capacity.
- d. A total of 5 percent of an HVAC system's ductwork shall be permitted to be located outside of the conditioned space. Ducts located outside of the conditioned space shall have insulation installed as required by this code.
- e. The maximum vaulted ceiling surface area shall not be greater than 50 percent of the total heated space floor area unless vaulted area has a U-factor no greater than U-0.026.
- f. Continuous air barrier. Additional requirement for sealing of all interior vertical wall covering to top plate framing. Sealing with foam gasket, caulk or other approved sealant listed for sealing wall covering material to structural material (example: Gypsum board to wood stud framing).
- g. Table N1104.1(1) Standard base case design, Code UA shall be at least 8 percent less than the Proposed UA. Buildings with fenestration less than 15 percent of the total vertical wall area may adjust the Code UA to have 15 percent of the wall area as fenestration.



2017 ORSC Additional Measure 6 Calculator

For demonstrating compliance with Additional Measure 6 only.
 If any assembly does not meet Table N1101.1(1), Table N1104.1(1) must be used to demonstrate minimum code compliance first.

Yellow fields require a value to be entered if field is applicable.

Use the drop down menu in fields with "SELECT ITEM"

IF field is applicable.

Job Name: 2002-1894 Bandon Breeze #1 2235

Permit #:

Standard Base Case

Notes	BUILDING COMPONENTS	Areas	U-factor	Areas x U	
1675 Updated 6/11/19	Flat ceilings	2235	0.021	46.94	
	Vaulted ceilings	0	0.033	0.00	
	Total area of ALL Wall Surfaces	2762			
	85% of Total wall area	2347.7	0.059	138.51	
	Windows=15% of Total wall area	414.3	0.300	124.29	
	Underfloor	910	0.033	30.03	
	Slab edge (enter lineal feet)	0	0.520	0.00	
	Skylights	0	0.500	0.00	
	Exterior Doors	38.55	0.200	7.71	
	Doors with >2.5ft ² glazing	0	0.400	0.00	
		Sum			347.4793

Proposed Alternative

BUILDING COMPONENTS	R-Value	Construction Type	Areas	U-factor	Areas x U
Flat ceilings	R-60,	Conventional framing	2235	0.017	38.00
Vaulted ceilings	R-49,	Scissor truss	0	0.021	0.00
Conventional wood-framed walls	R-23,	Intermediate - Framing	2216.5	0.055	121.91
Mixed or Other wall types	SEE Walls Overall U-Factor Tab		0	0.000	0.00
Underfloor	R-30,	Underfloor	910	0.033	30.03
Slab edge & Underslab	SELECT ITEM		0	0.000	0.00

Brand & Model Number (provide product cut sheets)

Insulated Concrete Form Walls		0		0.00
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TOTAL WINDOW, DOOR AND SKYLIGHT (input on Window, door and wall tabs)

	Areas	U-factor	Areas x U
Windows from Window Tab	545.5	0.217	118.44
Skylights from Skylight Tab	0	0.000	0.00
Exterior Doors from Door Tab	38.55	0.190	7.32
Doors with >2.5ft ² glazing	0	0.000	0.00
Sum			315.692

PASS or FAIL: PASS

-9.1%



**Doors without Glazing
Average Exterior Door U-Factor**

Door Designation	Construction	Area of Door(s)	U-Factor
Door Type - 1	Front Door	20.4	0.19
Door Type - 2	Fire Door	18.15	0.19
Door Type - 3			
Door Type - 4			
Door Type - 5			
Door Type - 6			
Door Type - 7			
Door Type - 8			
Door Type - 9			
Door Type - 10			
		Square Feet	Average U-Factor
	Total:	38.55	0.190

**Doors with >2.5ft² glazing
Average Exterior Door U-Factor**

Door Designation	Construction	Area of Door(s)	U-Factor
Door Type - 1			
Door Type - 2			
Door Type - 3			
Door Type - 4			
Door Type - 5			
Door Type - 6			
Door Type - 7			
Door Type - 8			
Door Type - 9			
Door Type - 10			
		Square Feet	Average U-Factor
	Total:	0	0.000

Instructions:

1. Enter brief description of door construction in yellow area under "Construction".
2. Enter area of door type in yellow area under "Area of Door(s)".
3. Enter U-Factor of door in yellow area under "U-Factor".
4. Value in green cell will be automatically entered into Table N1104.1(1) spreadsheet under "Standard Base Case".
5. Value in blue cell will be automatically entered into Table N1104.1(1) spreadsheet under "Proposed Alternative".

Note 1:

Doors that have the same U-Factor may be combined into one entry. For example, two solid wood doors, one 18ft² and one of 20ft², both having a U-Factor of 0.600 can be entered as one door with a combined area of 38ft².

Note 2:

Sliding glass door and swinging glass doors, including glazed french doors with NFRC labels are considered windows, not doors.

EXAMPLE 1

**Doors without Glazing
Average Exterior Door U-Factor**

Door Designation	Construction	Area of Door(s)	U-Factor
Door Type - 1	solid wood	18	0.600
Door Type - 2	solid wood	20	0.600
Door Type - 3	insulated metal	20	0.420
Door Type - 4			
Door Type - 5			
Door Type - 6			
Door Type - 7			
Door Type - 8			
Door Type - 9			
Door Type - 10			
		Square Feet	Average U-Factor
	Total:	58	0.538

or

EXAMPLE 2

**Doors with >2.5ft² glazing
Average Exterior Door U-Factor**

Door Designation	Construction	Area of Door(s)	U-Factor
Door Type - 1	solid wood	38	0.600
Door Type - 2	insulated metal	20	0.420
Door Type - 3			
Door Type - 4			
Door Type - 5			
Door Type - 6			
Door Type - 7			
Door Type - 8			
Door Type - 9			
Door Type - 10			
		Square Feet	Average U-Factor
	Total:	58	0.538

**MIXED or OTHER Wall Types
Average Wall U-Factor**

Door Designation	Construction	Area of Wall(s)	U-Factor
Wall Type - 1			
Wall Type - 2			
Wall Type - 3			
Wall Type - 4			
Wall Type - 5			
Wall Type - 6			
Wall Type - 7			
Wall Type - 8			
Wall Type - 9			
Wall Type - 10			
	Total:	Square Feet	Average U-Factor
		0	0.000

Instructions:

1. Enter brief description of wall construction in yellow area.
2. Enter area of wall type in yellow area. Wall area minus window & door area.
3. Enter U-Factor of wall in yellow area.
4. Value in green cell will be automatically entered into Table N1104.1(1) spreadsheet under "Standard Base Case".
5. Value in blue cell will be automatically entered into Table N1104.1(1) spreadsheet under "Proposed Alternative".

Note:

Walls that have the same U-Factor may be combined into one entry. For example, two wood framed walls, one 160ft² and one of 700ft², both having a U-Factor of 0.055 can be entered as one wall with a combined area of 860ft².

EXAMPLE

Average Wall U-Factor

Door Designation	Construction	Area of Wall(s)	U-Factor
Wall Type - 1	wood framed 2x6 16"oc w/ R-21	160	0.055
Wall Type - 2	wood framed 2x6 24"oc w/ R-21	700	0.055
Wall Type - 3	8" CMU Block solid filled	75	0.300
Wall Type - 4			
Wall Type - 5			
Wall Type - 6			
Wall Type - 7			
Wall Type - 8			
Wall Type - 9			
Wall Type - 10			
	Total:	Square Feet	Average U-Factor
		935	0.075



3 - 308
**Planning Fee
 Assessment
 Form**

Planning Action:	
Address:	TBD BEACH LOOP
Last Name:	BANDON BREEZE LLC

CITY OF BANDON PLANNING
 P.O. BOX 67
 555 HWY 101
 BANDON, OR 97411
 P:(541) 347-2437
 F:(541)347-1415

APPLICATION TYPE	DEPOSIT OR BASE FEE	FEE ASSESSED
Type I		
<input type="checkbox"/> Accessory ZC (under 200 sq ft)	\$200	
<input type="checkbox"/> Accessory ZC (Over 200 sq ft)	\$600	
<input type="checkbox"/> Floodplain Development	No fee	
<input checked="" type="checkbox"/> Residential Zoning Compliance (ZC)		
Under 1500 square feet	\$500	
1501-3499 square feet	\$750	\$750
3500 square feet and up	\$2,500	
<input type="checkbox"/> Commercial Zoning Compliance (ZC)		
Up to 3500 square feet	\$2,000	
3501-10,000 square feet	\$2,500	
10,001 or more	\$3,000	
<input type="checkbox"/> Sign	\$100	
<input type="checkbox"/> Certificate of Appropriateness (CoA)	\$100	
<input type="checkbox"/> Vacation	No fee	
Type II		
<input type="checkbox"/> Partition	\$1,000 + \$100/lot deposit	
<input type="checkbox"/> Property Line Adjustment (PLA)	\$350	
<input checked="" type="checkbox"/> Residential Plan Review (PR)	\$500 deposit	\$500
<input type="checkbox"/> Commercial Plan Review (PR)	\$1,000 deposit	
Type III		
<input type="checkbox"/> Variance	\$500 deposit	
<input type="checkbox"/> Subdivision	\$1,600 + \$200/lot deposit	
Tentative	\$1,600 + \$200/lot deposit	
Final	None required	
<input type="checkbox"/> Conditional Use Permit (CUP)	\$1,000 deposit	
<input type="checkbox"/> Planned Unit Development (PUD)	\$2,750 + \$200/unit deposit	
Type IV		
<input type="checkbox"/> Annexation	\$3,750	
<input type="checkbox"/> Comprehensive Plan Amendment	\$3,500	
<input type="checkbox"/> Comprehensive Plan/Map Amendment	\$3,750	
Other		
<input type="checkbox"/> Appeal	Deposit determined by Staff	
Total Fees Due Today:		\$1250

Planning Staff Contact: Dana Nichols Date Assessed: 4.15.21

Finance Staff Contact: Linda Fickhoff Date Paid: 4-15-21

Receipt Number: 9.113211

CITY OF BANDON
PO BOX 67
555 HIGHWAY 101
BANDON OR 97411 541-347-2437

Receipt No: 9.113211 Apr 15, 2021

BANDON BREEZE - BEACH LP

Previous Balance:	.00
LICENSES AND PERMITS	
ZC	750.00
100-413-09	
PLANNING PERMIT FEES	
LICENSES AND PERMITS	
PLAN REVIEW	500.00
100-413-09	
PLANNING PERMIT FEES	

Total: 1,250.00

CHECK

Check No: 1007	1,250.00
Payor:	
BANDON BREEZE - BEACH LP	
Total Applied:	1,250.00

Change Tendered: .00

04/15/2021 2:14 PM

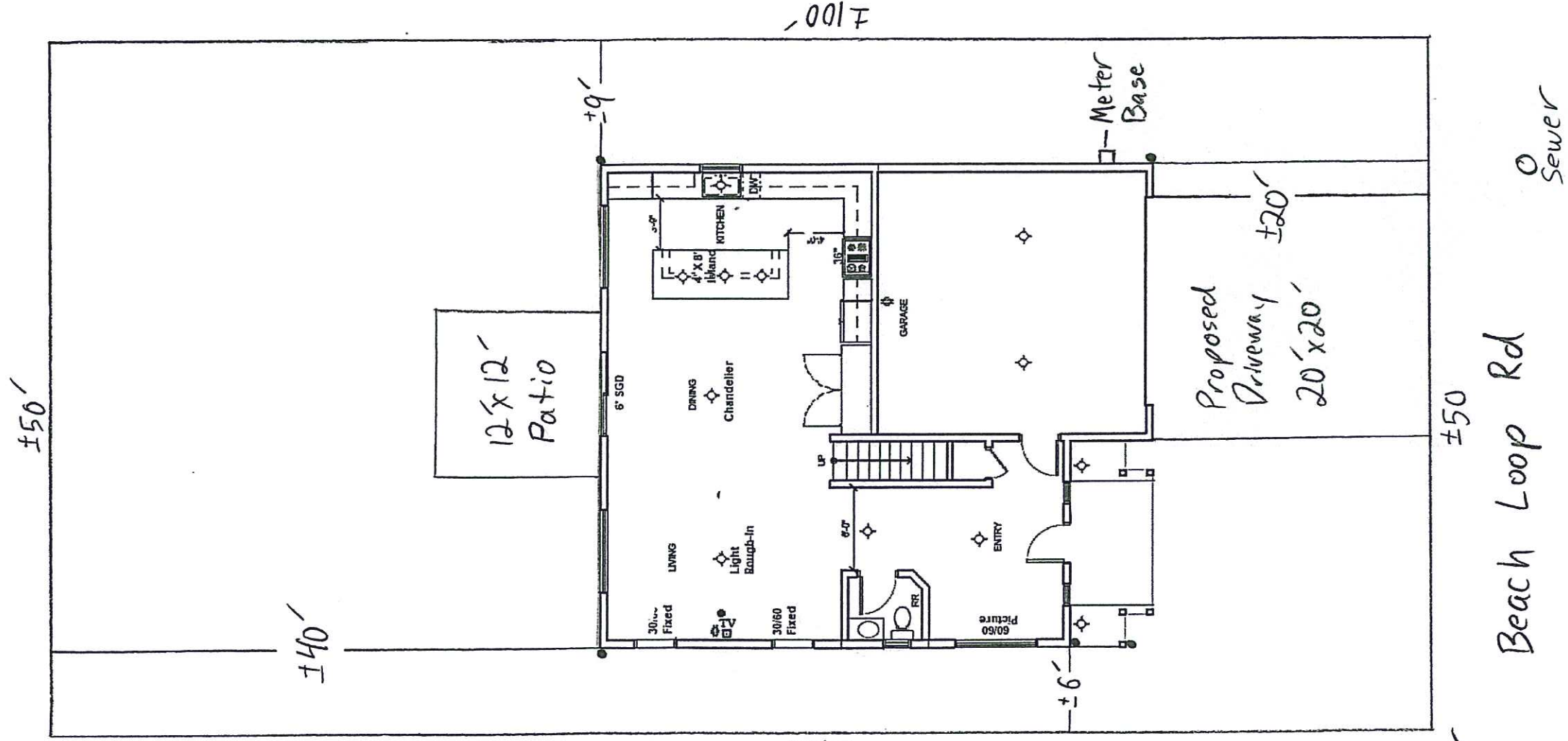
PLOT MAP FOR: Bandon Breeze LLC
CONTACT #: (951) 333-6396
EMAIL: drprabhakar@gmail.com

SITE ADDRESS: TBD Beach Loop Rd, Bandon, OR 97411

MAP/TAX LOT #: 28S15W36BB1700B

ACRES: 0.11

SCALE: 1" = 10'



Lot Sqft = 5,000
Home Sqft Coverage Approx: 1400 = 28%
Building Height Approx 27'
• = Gutter Downspouts

Power □
water ○

Beach Loop Rd
Sewer

GENERAL CONSTRUCTION NOTES

- SUB-CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING: VERIFYING AND MEETING ALL LOCAL AND STATE CODE REQUIREMENTS, REVIEWING APPROVED PLANS AND COMPLYING WITH ALL APPROVED REQUIREMENTS OF THE ENGINEER AND THE BUILDING DEPARTMENT, MEETING ALL SAFETY REQUIREMENTS AND STANDARD SAFETY PRACTICES THAT ARE RECOMMENDED AND/OR REQUIRED BY STATE AND LOCAL AUTHORITIES, VERIFYING ACCURACY OF ALL DIMENSIONS. DO NOT SCALE THE DRAWINGS. IF DISCREPANCIES OCCUR PLEASE CONTACT THE DESIGNER.
- NO CHANGES ARE TO BE MADE TO THE PLANS WITHOUT THE CONSENT OF THE DESIGNER AND BUILDING DEPARTMENT.
- THIS STRUCTURE IS ENGINEERED Laterally USING THE DESIGN CRITERIA SHOWN ON SHEET "CS". THIS PLAN HAS BEEN DESIGNED TO CARRY ALL LOADS FROM THE ROOF TO THE FOUNDATION.
- SEE SHEET "S2" FOR ALL SHEARWALL PLACEMENTS AND REQUIREMENTS. SHEARWALL DETAILS MUST BE FOLLOWED EXACTLY. NOTIFY THE DESIGNER OF ANY DISCREPANCIES OR CONCERNS.
- FIRE BLOCKING IS REQUIRED AT ALL PENETRATIONS AT THE WALLS AND PLATES, INCLUDING: PLUMBING, ELECTRICAL, AND MECHANICAL PENETRATIONS. FIRE BLOCK AT MIN. 10 FT. O.C. HORIZONTALLY IN WALL CAVITIES.
- WATER HEATER IS TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS, ORSC REQUIREMENTS, AND THE STATE ADOPTED PLUMBING CODE. IN SDC D1, D2, TANK MUST BE STRAPPED AT THE UPPER AND LOWER THIRD OF THE TANK. AT THE LOWER STRAP, STRAP IS TO BE 4" MIN. ABOVE THE CONTROLS (ORSC M1307.2).
- WHEN INSTALLED IN A GARAGE, ALL APPLIANCES MUST HAVE THE SOURCE OF IGNITION A MINIMUM OF 18" ABOVE THE FLOOR SLAB (ORSC M1307.3). MECH / PLUMBING EQUIPMENT IS TO BE PROTECTED FROM IMPACT OF A VEHICLE (ORSC M1307.3.1).
- USE 5/8" GYPSUM OR 1/2" SAG-RESISTANT GYPSUM AT THE CEILING PER ORSC TABLE R702.3.5.
- FLASHING IS REQUIRED AT ALL EXTERIOR TRIM EXTRUSIONS, WINDOW AND DOOR OPENINGS, WALL AND ROOF INTERSECTIONS, DECK ATTACHMENT TO WALL, AND OTHER AREAS THAT WATER MAY INTRUDE. WINDOWS AND DOORS SHALL BE INSTALLED PER MANUFACTURER INSTRUCTIONS.
- SINGLE STORY CONDITION U.N.O. ON S2 SHEET: NAIL ALL TOP PLATES TOGETHER W/ 10d NAILS @ 12" O.C. AND AT SPLICES W/ 10d NAILS @ 6" O.C. LAP SPLICES A MIN. OF 48" TYPICAL, NAIL ALL BOTTOM PLATES TO FLOOR SHEATHING AND MUDDSILL W/ (2) 10d NAILS EA. STUD BAY, NAIL ALL FLOOR SHEATHING W/ 8d NAILS @ 6" O.C. EDGE AND 12" O.C. FIELD, EXTERIOR STUDS MUST BE SPACED AT 16" O.C.
- TWO STORY CONDITION U.N.O. ON S2 SHEET: NAIL ALL TOP PLATES TOGETHER W/ 10d NAILS @ 12" O.C. AND AT SPLICES W/ 10d NAILS @ 5" O.C. ON FIRST FLOOR, 6" O.C. ON SECOND FLOOR. LAP SPLICES A MIN. OF 48" TYPICAL, NAIL ALL BOTTOM PLATES TO FLOOR SHEATHING AND MUDDSILL W/ (2) 10d NAILS EA. STUD BAY, NAIL ALL FLOOR SHEATHING W/ 8d NAILS @ 6" O.C. EDGE AND 12" O.C. FIELD, EXTERIOR STUDS MUST BE SPACED AT 16" O.C.
- ALL BEDROOMS ARE TO HAVE AN EGRESS WINDOW WITH A MIN. WIDTH OF 20" AND A MIN. HEIGHT OF 24" WITH A MINIMUM NET CLEAR OPENING NOT LESS THAN 5.7 FT².
- SEE SHEET "E1" FOR EXHAUST FAN, SMOKE AND CARBON MONOXIDE DETECTORS, AND ELECTRICAL FIXTURE LOCATIONS.
- CABINET, PLUMBING FIXTURE, AND DOOR ROUGH OPENINGS ARE CRITICAL DIMENSIONS. TAKE CARE TO VERIFY THAT THESE DIMENSIONS ARE FRAMED ACCURATELY.
- SMOKE ALARMS ARE REQUIRED IN ALL SLEEPING ROOMS, OUTSIDE ALL SLEEPING AREAS, AND ON EACH ADDITIONAL STORY OF THE DWELLING. SYSTEM MUST BE INTERCONNECTED IN SUCH A WAY THAT ALL ALARMS SOUND WHEN ONE IS ACTUATED. ORSC R314
- AN APPROVED CARBON MONOXIDE ALARM IS REQUIRED WITHIN 15 FEET OUTSIDE OF EACH BEDROOM DOOR. WHEN BEDROOMS ARE LOCATED ON TWO OR MORE STORIES, THERE SHALL BE SEPARATE CARBON MONOXIDE ALARMS SERVING EACH STORY. ORSC R315.3

HEADER & ROOF FRAMING NOTES

- UNLESS NOTED OTHERWISE, JOISTS AND RAFTERS ARE TO BE A MIN. DOUGLAS FIR-LARCH #2. RAFTERS MUST BE SUPPORTED BY POSTING DOWN TO FLAT BLOCKING THAT SPANS A MIN. OF TWO TRUSSES WHEN RAFTER SPANS EXCEED 6 FT.
- TRUSSES SHALL CARRY MANUFACTURER STAMP AND HAVE ENGINEERING DRAWINGS ON SITE FOR INSPECTION. ALL TRUSS BRACING REQUIREMENTS MUST BE INSTALLED PER TRUSS DRAWINGS. DO NOT FIELD MODIFY ANY TRUSS WITHOUT PRIOR APPROVAL FROM THE ENGINEER AND BUILDING DEPARTMENT. IF A TRUSS IS DAMAGED DO NOT INSTALL IT. CONTACT THE BUILDER IMMEDIATELY FOR A REPLACEMENT TRUSS.
- FRAMING CONNECTIONS SHALL BE "SIMPSON STRONG TIE" (OR) AN APPROVED EQUIVALENT.
- PROVIDE ATTIC VENTILATION PER ORSC R806.2. THE NET FREE VENTILATED AREA SHALL BE 1/300 FT² PROVIDED THAT MIN. 50% AND MAX. 80% OF THE REQUIRED VENTILATION AREA SHALL BE A MINIMUM OF 3 FT. ABOVE EAVE VENTS. THE BALANCE OF REQUIRED VENTILATION SHALL BE PROVIDED AT THE EAVES.
- PROVIDE A MIN. ROUGH OPENING 22"x30" ATTIC ACCESS PANEL WITH A TIGHT-FITTING / SELF-CLOSING DOOR. DOOR SHALL BE BACKED WITH INSULATION IF LOCATED ABOVE HEATED SPACE.
- SHEATH ROOF PER ORSC CASE 1 (STAGGERED PANELS UNBLOCKED) FASTEN PANELS W/ 10d NAILS @ 6" O.C. EDGE AND 12" O.C. FIELD. DO NOT STAPLE.
- UNLESS NOTED OTHERWISE, TOE-NAIL ALL GABLE END TRUSSES WITH (2) 10d NAILS @ 16" O.C. INTO TOP PLATES.
- UNLESS NOTED OTHERWISE, TOE-NAIL EACH END OF TRUSS AT BEARING WALLS W/ (2) 10d NAILS AND FASTEN WITH TRUSS CLIPS PER PLAN.
- ASPHALT SHINGLES MUST COMPLY WITH WIND SPEED SITE CONDITIONS AND BE SEALED IN ACCORDANCE WITH ASTM D 7158 OR UNSEALED IN ACCORDANCE WITH ASTM D 3161. ORSC R905.2
- SIDEWALL FLASHING: MIN. 4"x4" STEP FLASHING AT WALL / ROOF CONNECTIONS AND TURNED OUT AT THE BOTTOM TO DIRECT WATER AWAY FROM THE WALL AND ONTO THE ROOF AND/OR GUTTER. ORSC R905.2.8.3.
- DRIP EDGE: PROVIDE METAL DRIP EDGE AT EAVES AND RAKE EDGES OF SHINGLE ROOFS. UNDERLAYMENT SHALL BE INSTALLED OVER THE DRIP EDGE ALONG EAVES AND UNDER THE DRIP EDGE ALONG RAKE EDGES. ORSC 905.2.8.5.

FOUNDATION & FLOOR FRAMING NOTES

- ALL FOOTINGS SHALL BEAR ON STIFF, FIRM SOIL MEETING THE REQUIREMENTS OF DEFAULT SITE CLASS "D" PER ORSC SECTION 1613.5.2. DESIGN IS BASED ON 1500 p.s.f. SOIL.
- ALL WOOD IN CONTACT WITH CONCRETE OR SOIL SHALL BE 2x DOUGLAS FIR-LARCH #2 MIN. TREATED WITH AN APPROVED PRESERVATIVE AND HOT-DIPPED GALVANIZED CONNECTORS (OR) STANDARD DOUGLAS FIR-LARCH #2 ON AN IMPERVIOUS MOISTURE BARRIER (ORSC R317.1) (OR) BORATE TREATED DOUGLAS FIR-LARCH #2 MINIMUM.
- PROVIDE APPROPRIATE BLOCK-OUTS IN FOOTINGS OR WALLS FOR PLUMBING & ELECTRICAL STUB-OUTS.
- WHERE REQUIRED, USE A MIN. OF 3000 p.s.i. CONCRETE PER ORSC TABLE R402.2, INCLUDING: FOUNDATION WALLS, PORCH AND GARAGE SLABS, STEPS, AND ALL OTHER AREAS THAT ARE EXPOSED TO THE WEATHER. MAXIMUM STRENGTH IS AT 28 DAYS. ALLOW ADEQUATE TIME FOR FOUNDATION TO SET BEFORE BACK FILLING.
- FOUNDATION VENTS ARE TO BE INSTALLED AT 1/150 FT². THE NET FREE AREA MAY BE REDUCED TO 1/1500 FT² IF GROUND SURFACE IS COVERED BY A CLASS 1 VAPOR RETARDER AND SEAMS LAPPED 12" AND EXTENDING 12" UP FOUNDATION WALL. ONE VENT IS TO BE WITHIN 3 FT. OF EACH BUILDING CORNER EXCEPT THAT ONE SIDE IS PERMITTED TO HAVE NO OPENINGS. ORSC R408.1
- FOR JOISTS HUNG INSIDE STEM WALL, UNLESS NOTED OTHERWISE, 2x MUDDSILL TO BE INSTALLED FLUSH WITH THE INSIDE FACE OF FOUNDATION WALL AT JOIST BEARING POINTS TO ACCEPT JOIST HANGERS. VERIFY THAT THE MUDDSILL IS SQUARE AT ALL CORNERS.
- ATTACH THE MUDDSILL TO THE FOUNDATION WITH 1/2"x10" ANCHOR BOLTS WITH NUT AND STANDARD WASHER @ 6 FT. O.C. AND WITHIN 12" OF EACH END OF THE PLATE SECTION.
 - IN SDC D0, D1, D2, USE 1/4"x3"x3" PLATE WASHER ON EACH BOLT.
 - WHERE ANCHOR BOLTS ARE MISSED USE A 1/2"x 6" TITAN HD MECHANICAL ANCHOR BOLT.
- REBAR IS REQUIRED IN SDC D1 AND D2 PER ORSC R403.1.4. A MIN. (1) #4 REBAR IN FOOTINGS. AND (1) #4 REBAR WITHIN 12" OF TOP OF STEM WALL.
- THE FOUNDATION IN THIS PLAN IS DESIGNED PRESCRIPTIVELY, BUT THE CONNECTION FROM THE FOUNDATION TO THE MUDDSILL IS ENGINEERED FOR RESISTING LATERAL LOADS AS OUTLINED IN THE DESIGN CRITERIA ON SHEET "CS".
- FOOTINGS AND STEM WALLS SHALL BE AS FOLLOWS (UNLESS NOTED OTHERWISE):
 - BELOW ONE STORY PORTIONS OF A BUILDING: FOOTINGS = 12" WIDE. STEM WALLS = 6" THICK.
 - BELOW TWO STORY PORTIONS OF A BUILDING: FOOTINGS = 15" WIDE. STEM WALLS = 8" THICK
- WHERE REQUIRED PER ORSC R406.1, FOUNDATION WALLS SHALL BE DAMP PROOFED AROUND THE ENTIRE PERIMETER USING A METHOD THAT IS APPROVED BY THE BUILDING DEPARTMENT. FOUNDATION WALLS SHALL BE DAMP PROOFED BY HOMEOWNER.

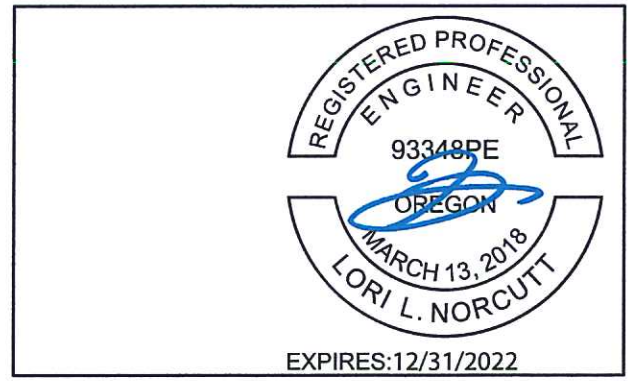
LATERAL DESIGN CRITERIA AND MINIMUM SITE CONDITIONS INFORMATION	
OCCUPANCY CATEGORY	II
BASIC / ULTIMATE WIND SPEED (ASCE 7-16)	110/140
WIND EXPOSURE FACTOR	D
MINIMUM WIND LOADS (PSF)	16/8
SEISMIC / WIND IMPORT. FACTOR	I
SEISMIC USE GROUP	1.0
SEISMIC DESIGN CATEGORY	E
SHORT PERIOD ACCELERATION (g)	1.631
DEFAULT SITE CLASS	D
MAXIMUM GROUND SNOW LOAD (PSF)	30
ROOF DEAD LOAD (PSF)	15
EXTERIOR WALL DEAD LOAD (PSF)	15
INTERIOR WALL DEAD LOAD (PSF)	10
MAXIMUM ROOF SLOPE	5/12

GENERAL STRUCTURAL NOTES:
 THIS PLAN IS ENGINEERED FOR LATERAL LOADS (WIND AND SEISMIC) AS LISTED ABOVE. FOR CALCULATIONS, SEE LATERAL ENGINEERING PACKET PROVIDED. THE FOUNDATION WALLS AND FOOTINGS ARE INTENDED TO BE PRESCRIPTIVE EXCEPT WHERE NOTED OTHERWISE. STRUCTURAL MEMBERS NOT PART OF THE ENGINEERED STRUCTURAL SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH CONVENTIONAL LIGHT-FRAME CONSTRUCTION REQUIREMENTS.
GOVERNING CODES:

- 2017 ORSC (OREGON RESIDENTIAL SPECIALTY CODE)
- 2019 ORSC (OREGON STRUCTURAL SPECIALTY CODE)
- 2017 OESC AMENDMENTS, 2017 NFPA 70, NEC
- 2017 OPSC (OREGON PLUMBING SPECIALTY CODE)

DOCUMENT SHEET INDEX	
CS	COVER SHEET
A1	FIRST FLOOR PLAN
A1-1	SECOND FLOOR PLAN
A2	BUILDING SECTIONS
A3	EXTERIOR ELEVATIONS
A4, A4-1	ARCHITECTURAL DETAILS
A5	TALL FOUND. WHERE REQ'D
S1	FOUNDATION PLAN
S2	SHEAR WALL PLAN
S3	ROOF FRAMING PLAN
S4	STRUCTURAL DETAILS
S5	STRUCTURAL DETAILS
S6	STRUCTURAL DETAILS
E1	ELECTRICAL PLAN

DESIGN ENGINEER
 LORI NORCUTT, P.E.
 Washington State License Number: 55343
 Oregon State License Number: 93348PE
 California State License Number: 73152
 LORI@STANDUPENGINEERS.COM
 (503) 400-4268



SITE ADDRESS:
 TBD BEACH LOOP RD
 BANDON, OR 97411
 PARCEL # 28S15W36BB1700
 REVISIONS:

CUSTOMER:
 BANDON
 BREEZE LLC
 2166 ASH ST
 NORTH BEND, OR 97459
 (951) 333-6396

COVER SHEET

HILINE HOMES
 11306 62ND AVENUE
 PUYALLUP WA, 98373
 (253) 770-2244 ext. 129

PLAN: 2246
 DATE: 01/15/21
 JOB#: 2002-1894





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SITE ADDRESS:
TBD BEACH LOOP RD
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CUSTOMER:
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BREEZE LLC
2166 ASH ST
NORTH BEND, OR 97459
(951) 333-6396

FLOOR PLAN

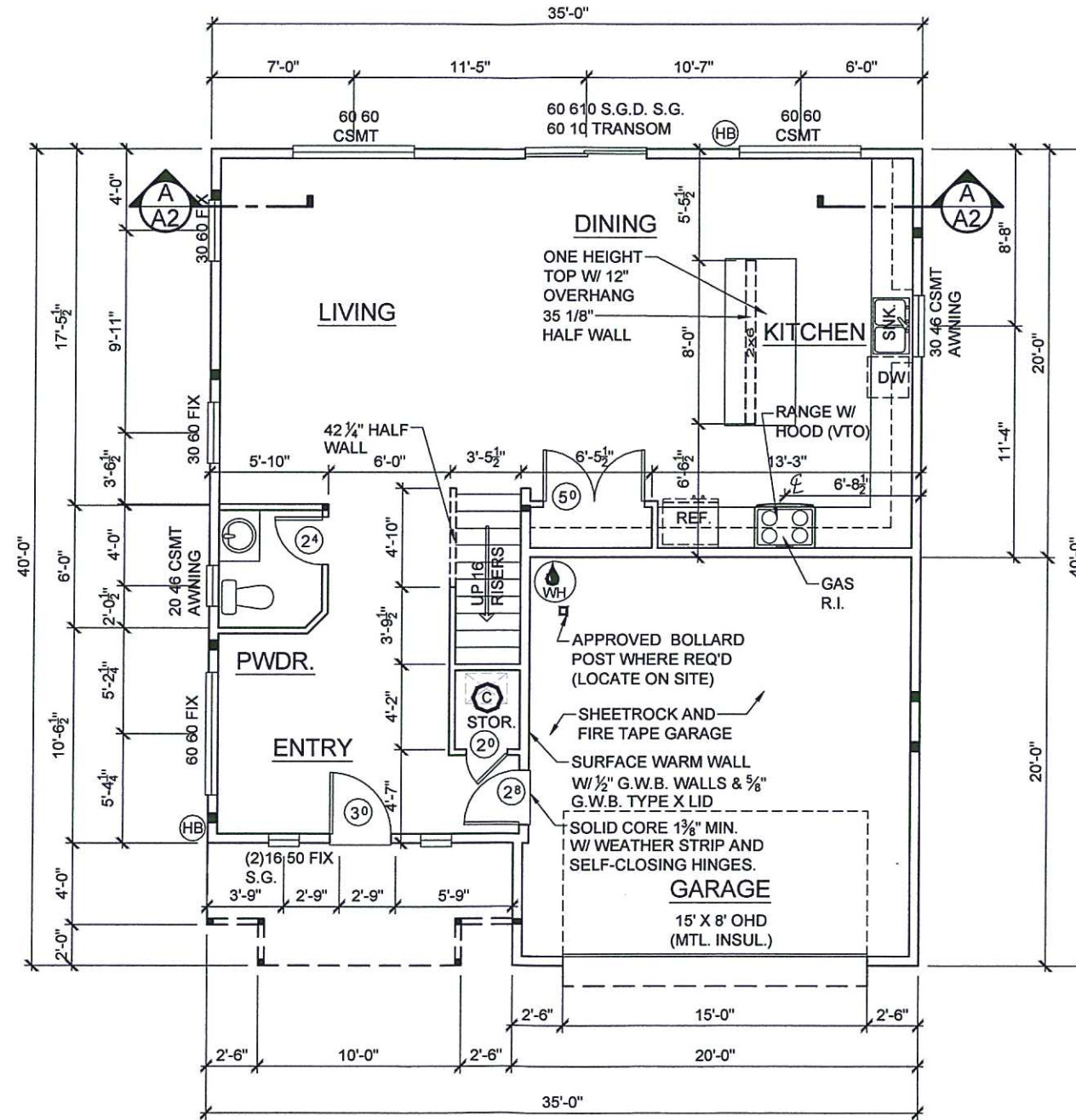


EXPIRES:12/31/2022

HILINE HOMES
11306 62ND AVENUE
PUYALLUP WA, 98373
(253) 770-2244 ext. 129

PLAN: 2246
DATE: 01/15/21
JOB#: 2002-1894

A1



NOTE:

1. DESIGN AND INSTALLATION OF ALL EXTERIOR DECKS, PATIOS, PORCHES, RAILINGS, HAND RAILINGS, GRAB RAILS, WALKWAYS, STOOPS, APRONS, AND DRIVING SURFACES LOCATED OUTSIDE OF THE INSULATED WALLS OF THE LIVING SPACE. IF OWNER INSTALLS AN EXTERIOR DECK OR PATIO NEAR OR AGAINST THE SIDING, OWNER SHALL INSTALL PROPER FLASHING TO PREVENT MOISTURE INTRUSION OR DAMAGE. DECKS OR PATIOS MUST BE INSTALLED AFTER THE SHEET ROCK PHASE AND BEFORE FINAL INSPECTION AND SHALL BE DESIGNED AND BUILT IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES. ANY PORCH COVERS PROVIDED BY HILINE WILL ONLY INCLUDE THE ROOF STRUCTURE.

*ALL EXTERIOR DOORS TO HAVE THRESHOLD SUPPORT PER DETAIL 7 ON SHEET A4.

LEGEND

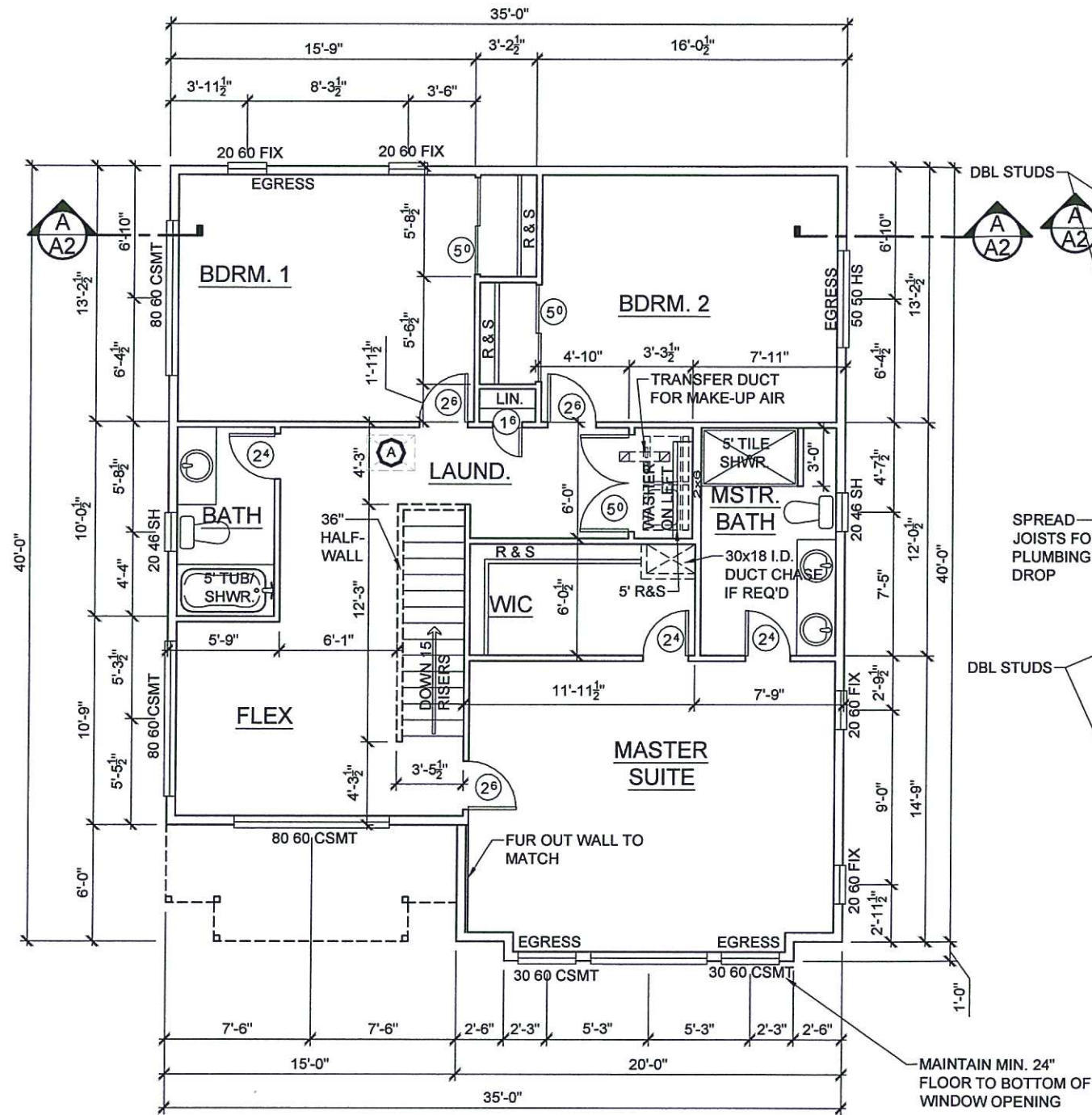
- (A) = 22"X30" INSULATED ATTIC ACCESS W/ WEATHERSTRIPPING
- (C) = 18"X24" INSULATED CRAWL ACCESS W/ WEATHERSTRIPPING
- WH = WATER HEATER: ANCHORAGE IN SDC D0, D1, D2 (DETAIL 3 ON A4-1)
- (HB) = HOSE BIB
- HS = HORIZONTAL SLIDER WINDOW
- SH = SINGLE HUNG WINDOW
- FIX = FIXED WINDOW
- S.G. = SAFETY GLAZING

AREA SUMMARY

MAIN FLOOR AREA	921 SQ. FT.
UPPER FLOOR AREA	1325 SQ. FT.
TOTAL FLOOR AREA	2246 SQ. FT.
GARAGE	390 SQ. FT.
PORCH	68 SQ. FT.

FIRST FLOOR PLAN

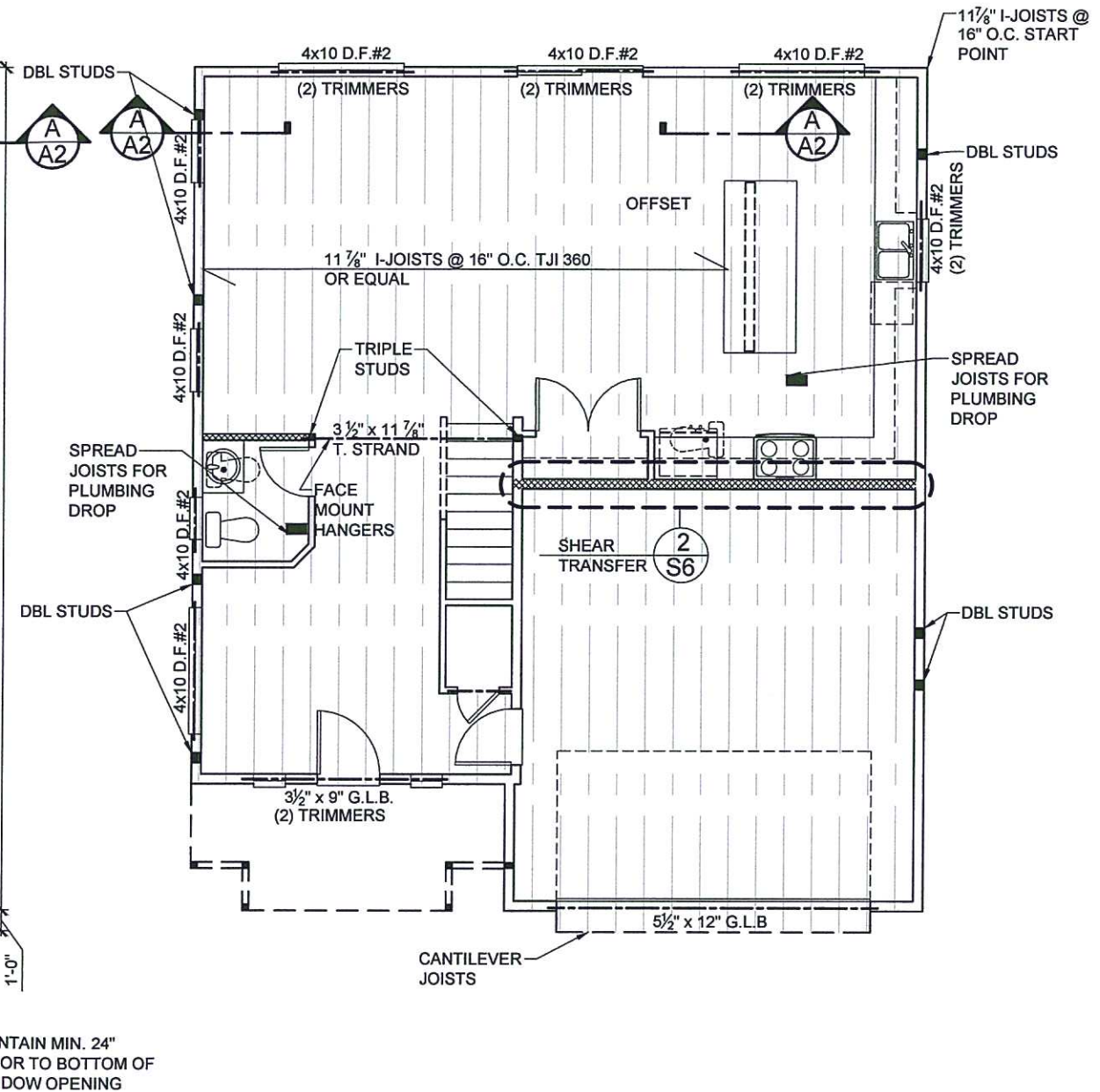
1/8" = 1'-0"



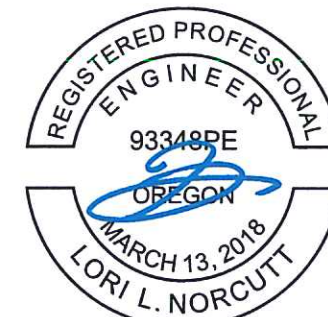
SECOND FLOOR PLAN
1/8" = 1'-0"

LEGEND

- = 22"X30" INSULATED ATTIC ACCESS W/ WEATHERSTRIPPING
- = INTERIOR LOAD BEARING WALL



SECOND FLOOR FRAMING PLAN
1/8" = 1'-0"



EXPIRES:12/31/2022



SITE ADDRESS:
TBD BEACH LOOP RD
BANDON, OR 97411
PARCEL # 28S15W38B1700
REVISIONS:

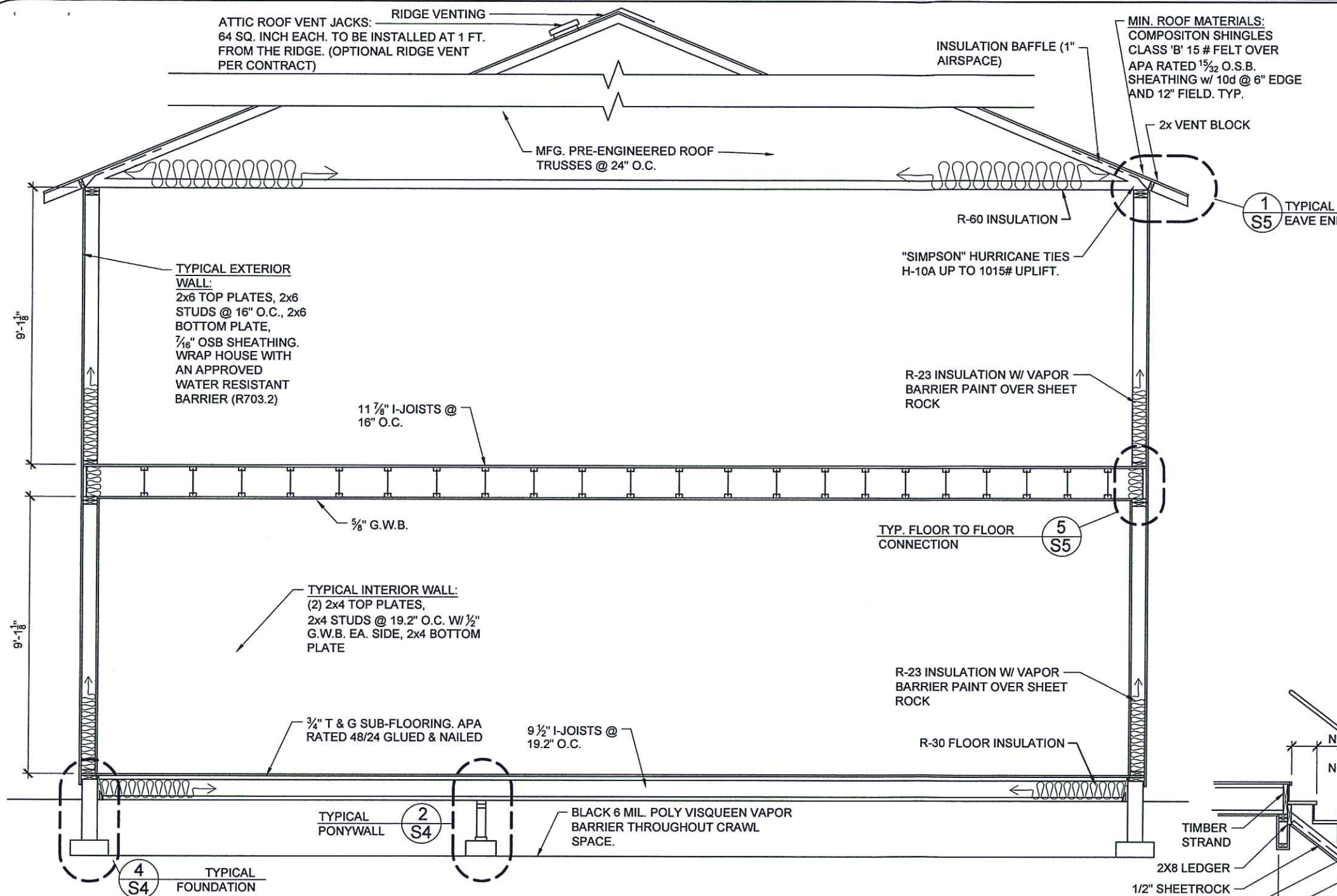
CUSTOMER:
BANDON BREEZE LLC
2166 ASH ST
NORTH BEND, OR 97459
(951) 333-6396

FLOOR PLAN

HILINE HOMES
11306 62ND AVENUE
PUYALLUP WA, 98373
(253) 770-2244 ext. 129

PLAN: 2246
DATE: 01/15/21
JOB#: 2002-1894

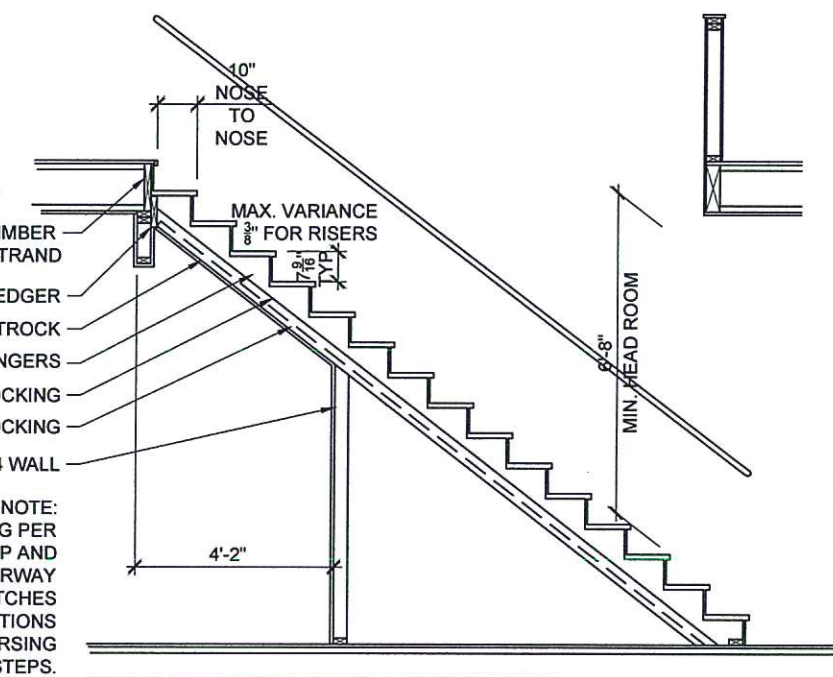
A1-1



NOTE:
 HALF WALL OR SOLID WALL
 STAIRWAYS SIMILAR. PROVIDE
 HANDRAIL MIN. (1) SIDE.

MIN. CLEAR WIDTH AT AND
 BELOW THE HANDRAIL HEIGHT,
 INCLUDING TREADS AND
 LANDINGS, SHALL BE 31½" MIN.
 27" WHERE HANDRAILS ARE
 PROVIDED ON BOTH SIDES

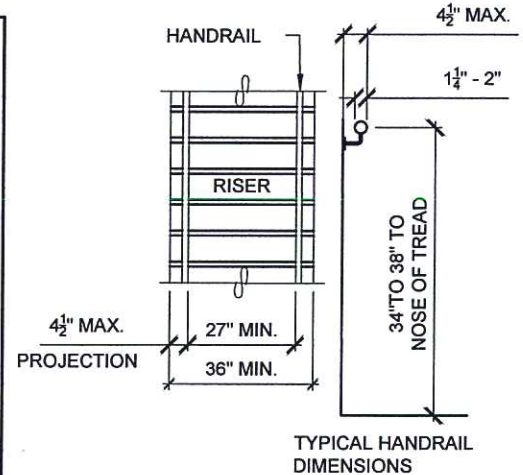
NOTE:
 PROVIDE THE FOLLOWING CLEAR
 DIMENSIONS:
 HEADROOM 6'-8" MIN.
 TREAD WIDTH 36" MIN.
 HANDRAIL HEIGHT BETWEEN 34" & 38"
 RISE 7¾" MAX.
 RUN 10" MIN.
 PROVIDE HANDRAILS ON ALL STAIRS
 W/ (3) OR MORE RISERS. A SINGLE
 HANDRAIL IS ACCEPTABLE WHEN
 STAIRWAYS ARE LESS THAN 44"
 WIDE. HANDRAIL SHALL BE
 1 1/2"-2" ROUND OR EQ. GRIPPING
 SHAPE SET MIN. 1 1/2" FROM WALL.



NOTE:
 PROVIDE LIGHTING PER
 R303.6 AT TOP AND
 BOTTOM OF STAIRWAY
 ACCESS W/ SWITCHES
 AT BOTH LOCATIONS
 W/ OUT TRAVERSING
 ANY STEPS.

1 STAIR DETAILS
 16 RISERS (9' CEILINGS) NTS
 SECTION A-A
 1/4" = 1'-0"

ENERGY EFFICIENCY - TABLE N1101.1(2):
 SELECTED ADDITIONAL MEASURES:
 1. ENVELOPE ENHANCEMENT MEASURE = 6
 1.1. HIGH EFFICIENCY THERMAL ENVELOPE UA
 (PROPOSED UA IS 8% LOWER THAN THE CODE UA
 WHEN CALCULATED IN ORSC TABLE N1104.1(1)).
 1.2. INSULATION: FLAT CEILING = R-60 (CONV); VAULTED
 CEILING = R-49 (CONV); WALLS = R-23 (INT.
 BLOWN-IN); UNDERFLOOR = R-30; WINDOWS =
 U-0.217; SKYLIGHTS = U-0.50; DOORS = U-0.20.
 2. CONSERVATION MEASURE = A, OR, B. (SELECTION MADE
 ON ENERGY CALC FORMS - VARIES DEPENDING ON
 CUSTOMER OPTION SELECTION)
 2.1. IF = A
 2.1.1. GAS FIRED FURNACE AFUE 94%, OR
 2.1.2. AIR SOURCE HEAT PUMP HSPF 9.5/15.0 SEER
 COOLING.
 2.2. IF = B
 2.1.1. ELECTRIC WALL HEATERS INSTALLED ON
 INTERIOR WALLS.
 3. COMPLIANCE DEMONSTRATED BY ATTACHED THERMAL
 PERFORMANCE CALCULATION DOCUMENTATION.



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 REVISIONS:

CUSTOMER:
 BANDON
 BREEZE LLC
 2166 ASH ST
 NORTH BEND, OR 97459
 (951) 333-6396

BUILDING
 SECTIONS

HILINE HOMES
 11306 62ND AVENUE
 PUYALLUP WA, 98373
 (253) 770-2244 ext. 129

PLAN: 2246
 DATE: 01/15/21
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A2



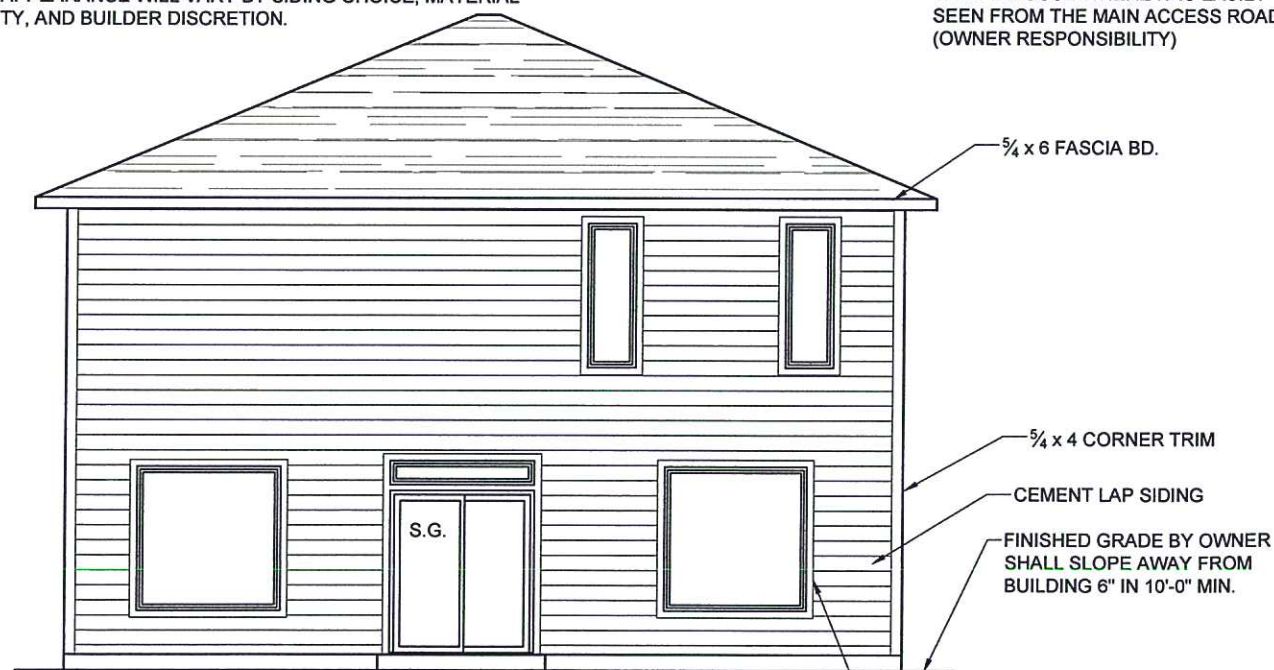
LEFT ELEVATION
1/8" = 1'-0"



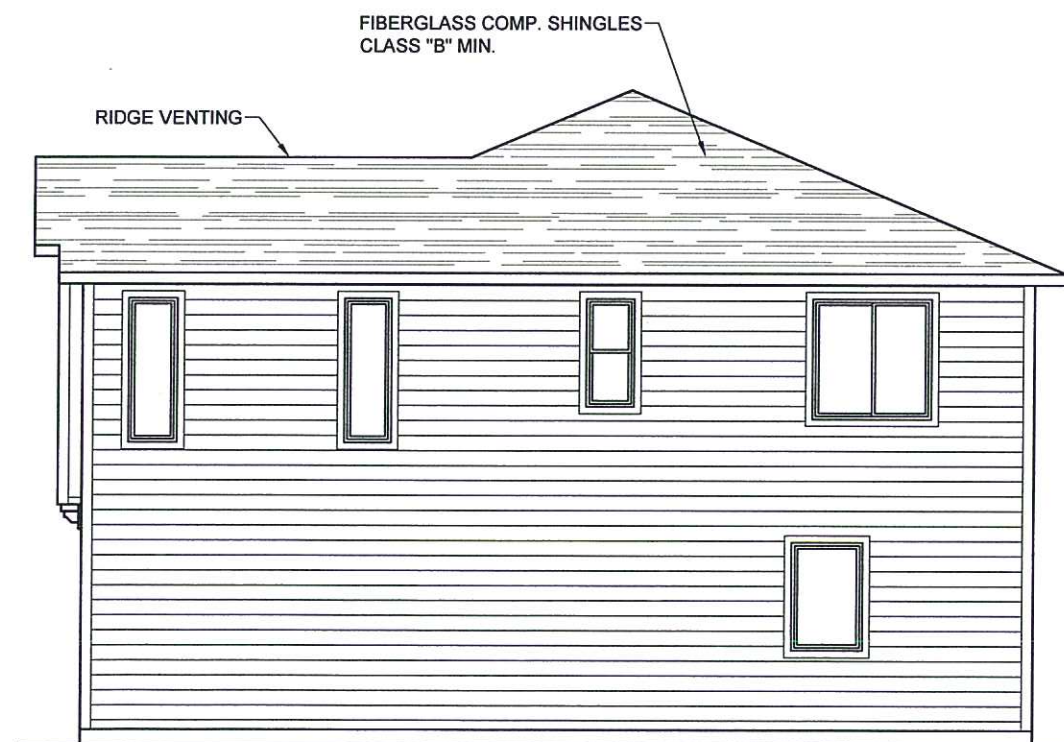
FRONT ELEVATION
1/8" = 1'-0"

- NOTE:
1. HOMEOWNER IS RESPONSIBLE FOR DESIGN AND INSTALLATION OF ALL DECKS AND PATIOS INCLUDING THOSE UNDER COVERED AREAS. ALL DECKS AND PATIOS SHALL BE DESIGNED AND BUILT IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES.
 2. EXTERIOR APPEARANCE WILL VARY BY SIDING CHOICE, MATERIAL AVAILABILITY, AND BUILDER DISCRETION.

NOTE:
ADDRESS MUST BE LOCATED ON THE HOUSE WHERE IT IS EASILY SEEN FROM THE MAIN ACCESS ROAD (OWNER RESPONSIBILITY)



REAR ELEVATION
1/8" = 1'-0"



RIGHT ELEVATION
1/8" = 1'-0"



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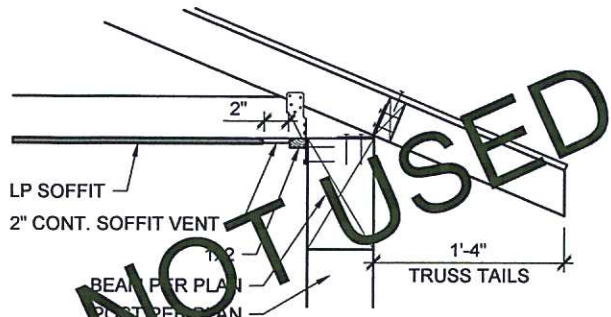
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**EXTERIOR
ELEVATIONS**

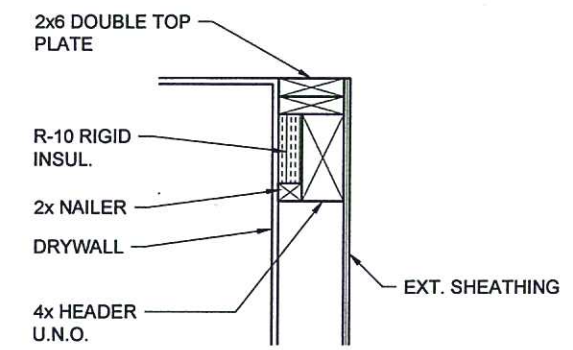
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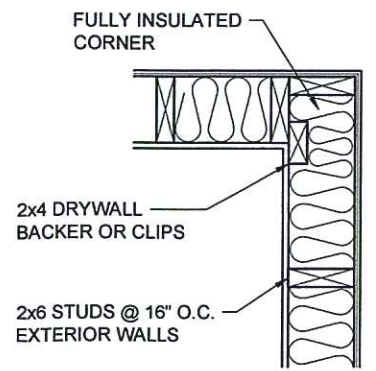
A3



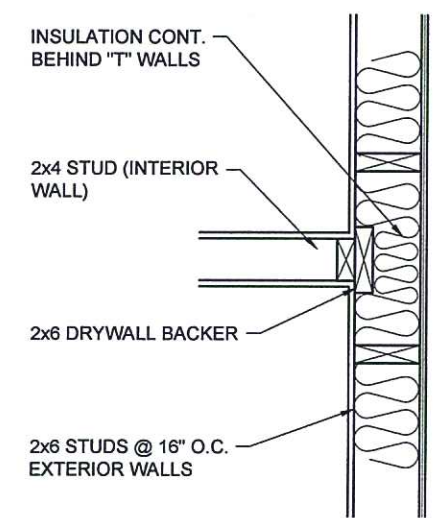
1 SOFFIT VENT DETAIL
2" CONT. VENT NTS



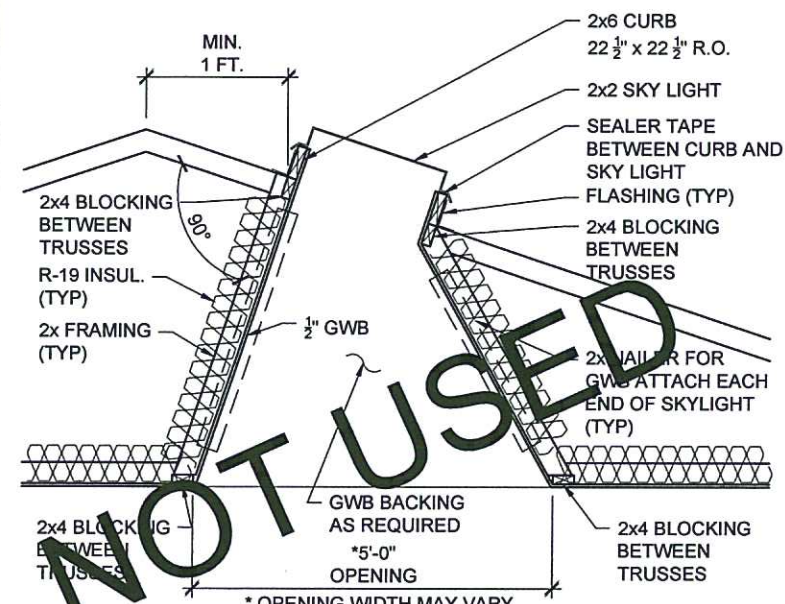
2 INSUL. HEADER DETAIL
TYPICAL NTS



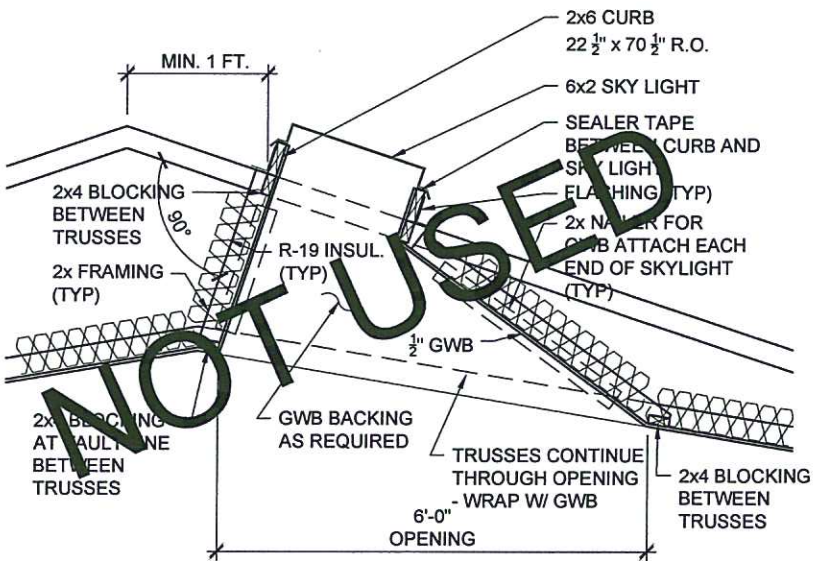
3 EXT. CORNER DETAIL
TYPICAL NTS



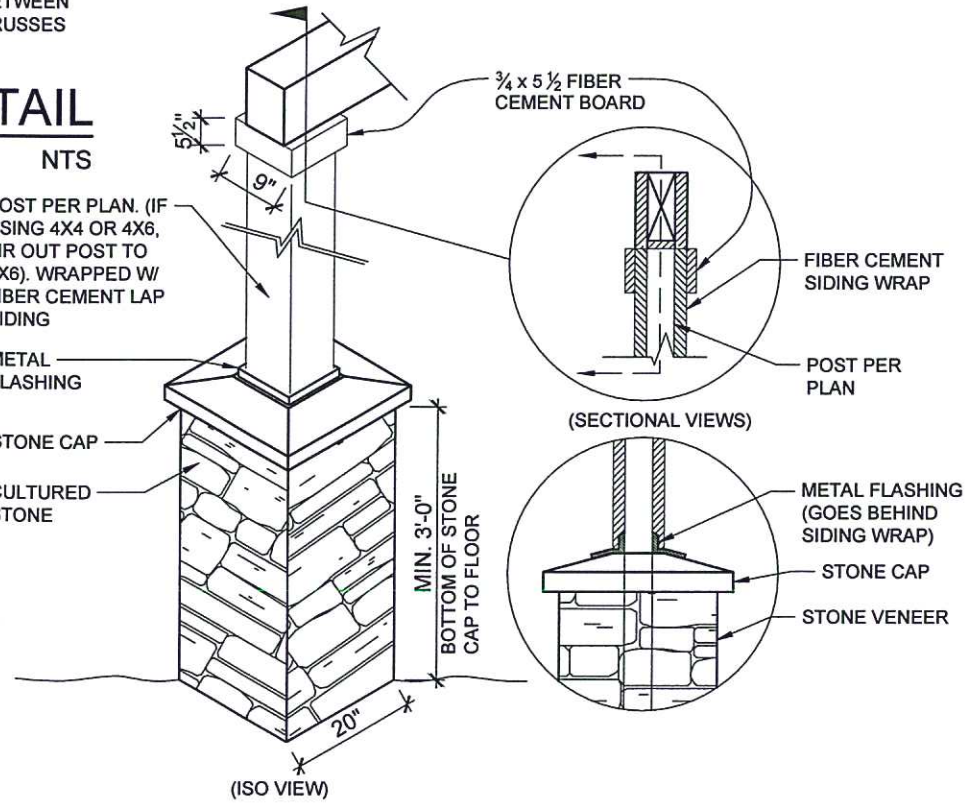
4 INTERIOR WALL DETAIL
TYPICAL NTS



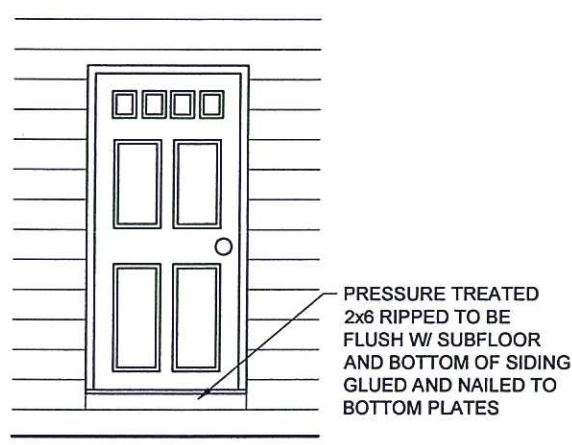
5 SKYLIGHT FRAMING DETAIL
2x2 SKYLIGHT VAULTED OR FLAT CLG. SIMILAR NTS



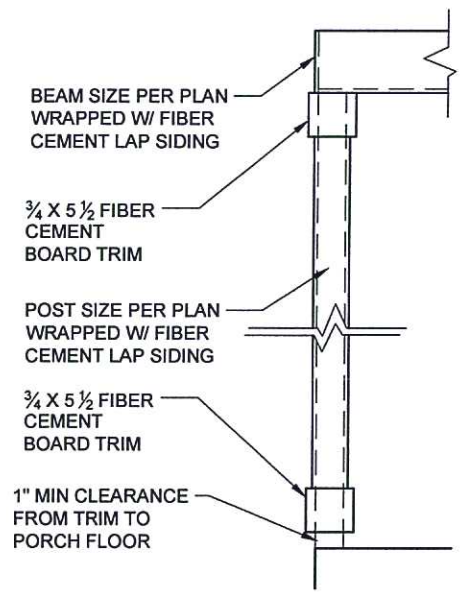
6 SKYLIGHT FRAMING DETAIL
2x6 SKYLIGHT VAULTED OR FLAT CLG. SIMILAR NTS



9 STONE WRAP POST (OPT)
DETAIL NTS



7 THRESHOLD SUPPORT
NTS



8 STANDARD POST
DETAIL NTS



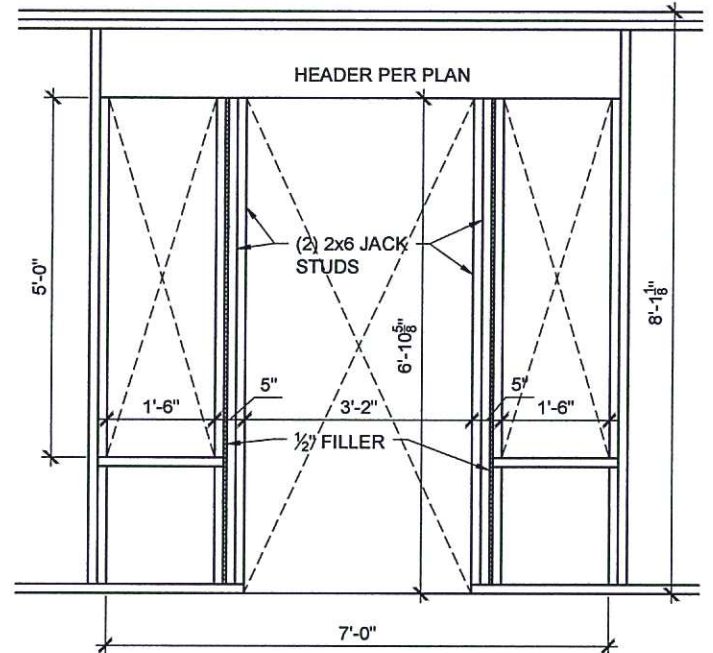
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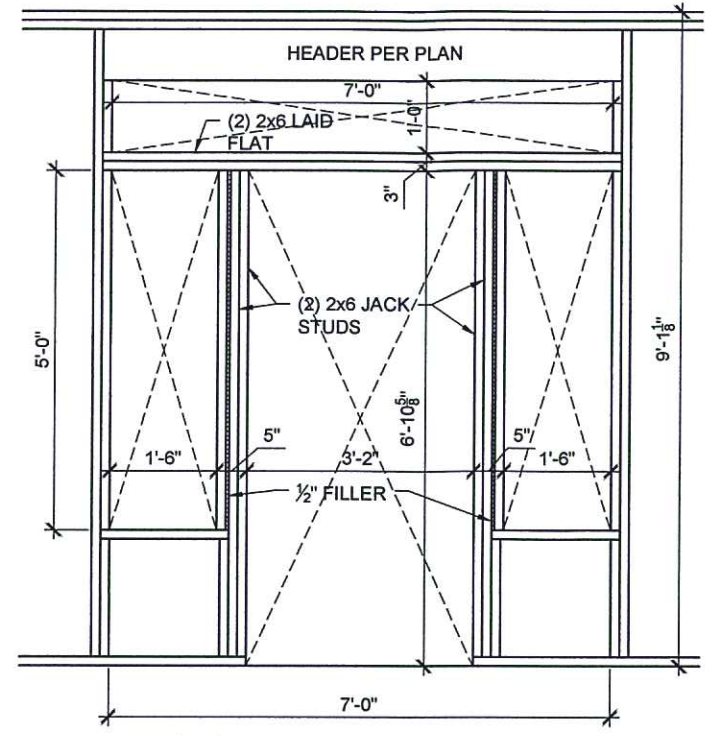
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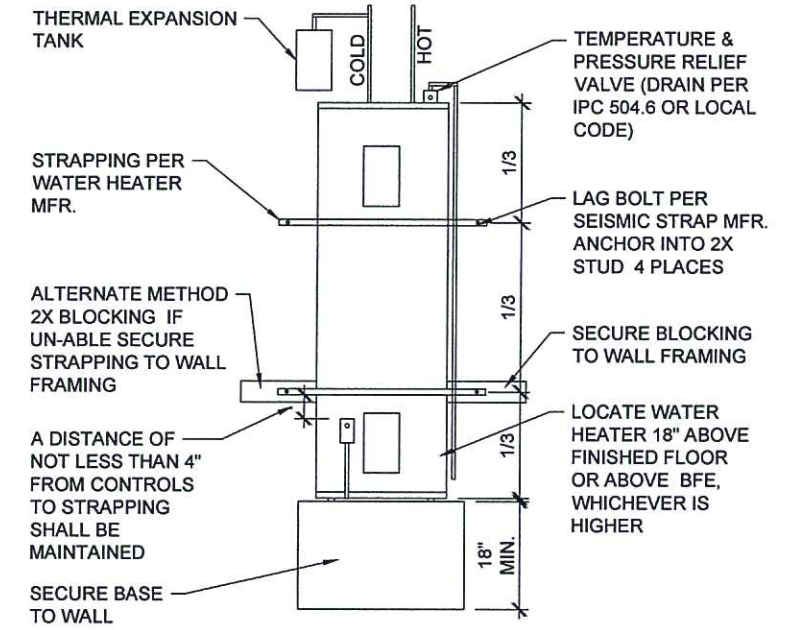
A4



1 DOOR W/ 2 SIDE LIGHTS
NTS



2 DOOR W/ 2 SIDE LIGHTS
OPTIONAL TRANSOM NTS



3 WATER HEATER STRAPPING
M1307.2 NTS



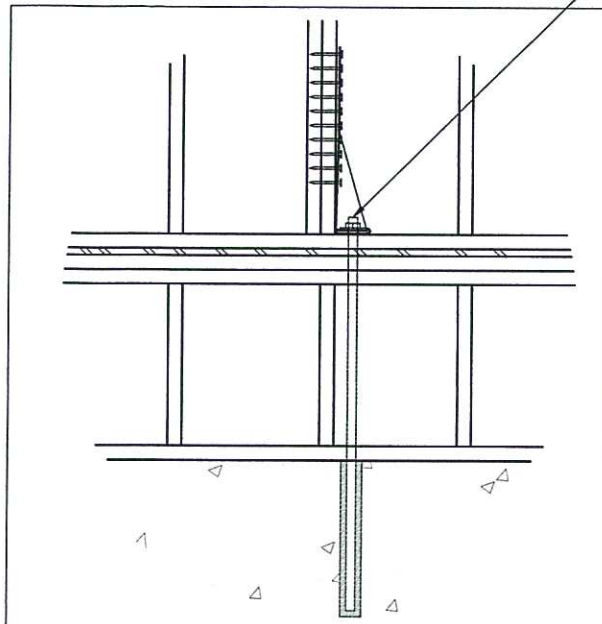
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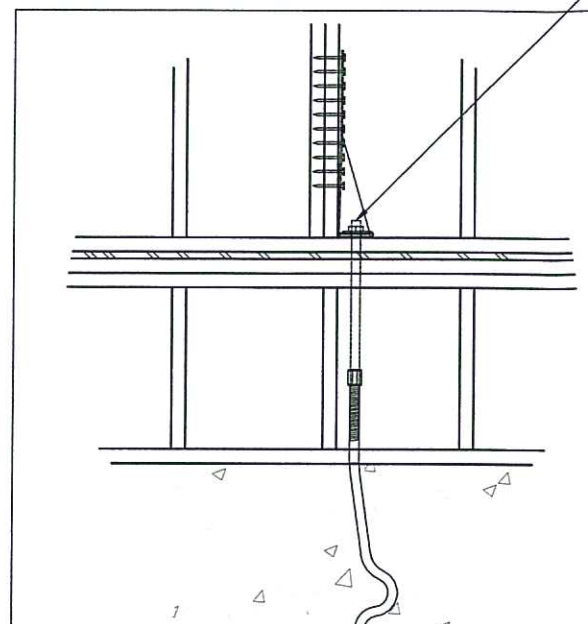
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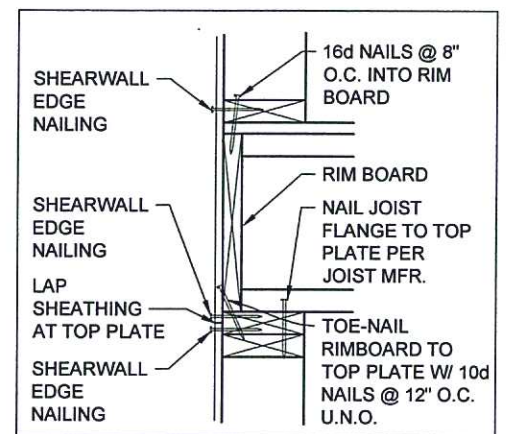
NOTE:
IF CRIPPLE WALL IS TOO SHORT TO FIT ENTIRE STHD HOLDOWN, OR IS MISPLACED, OR IS OTHERWISE UNUSABLE, ATTACH MAIN LEVEL SHEARWALL TO FOUNDATION USING SIMPSON HTT5 ATTACHED TO 3" FRAMING AT MAIN LEVEL WALL W/ (26) 10d x 2 1/2" NAILS AND 5/8" Ø THREADED ROD EMBEDDED MINIMUM 11" INTO CONCRETE STEM WALL USING SIMPSON AT-XP EPOXY.

ALT. HOLDOWN OPTION - 1



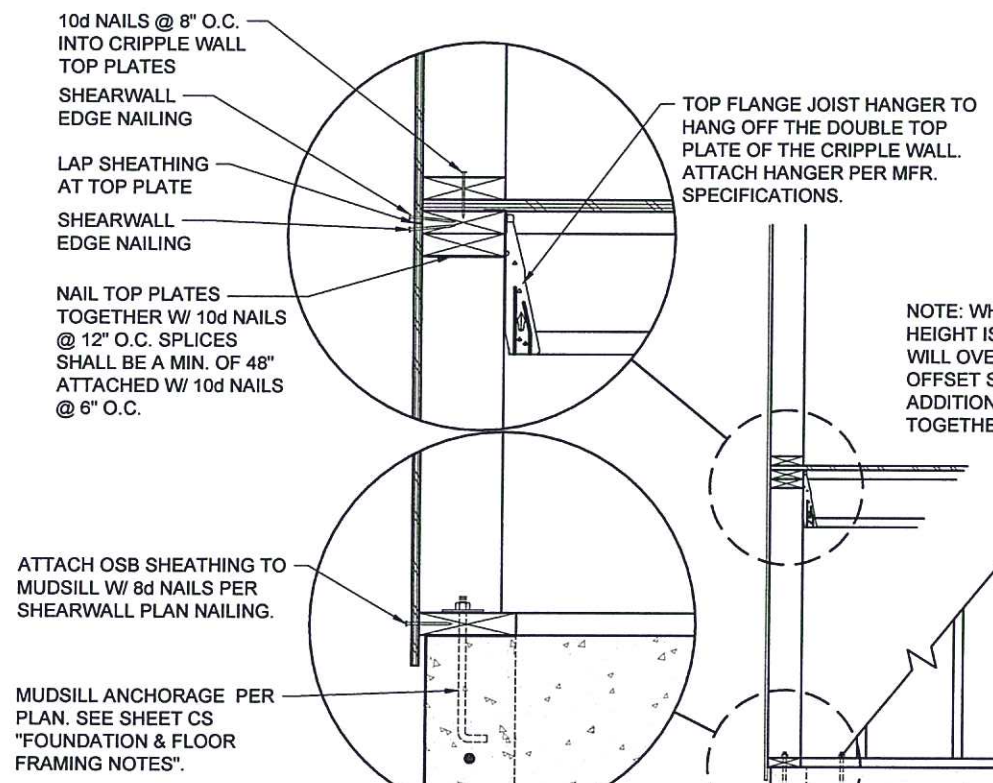
NOTE:
IF CRIPPLE WALL IS TOO SHORT TO FIT ENTIRE STHD HOLDOWN, OR IS MISPLACED, OR IS OTHERWISE UNUSABLE, ATTACH MAIN LEVEL SHEARWALL TO FOUNDATION USING SIMPSON HTT5 ATTACHED TO 3" FRAMING AT MAIN LEVEL WALL W/ (26) 10d x 2 1/2" NAILS AND 5/8" Ø THREADED ROD AND 5/8" COUPLER ATTACHED TO SIMPSON SSB16 ANCHOR BOLT

ALT. HOLDOWN OPTION - 2



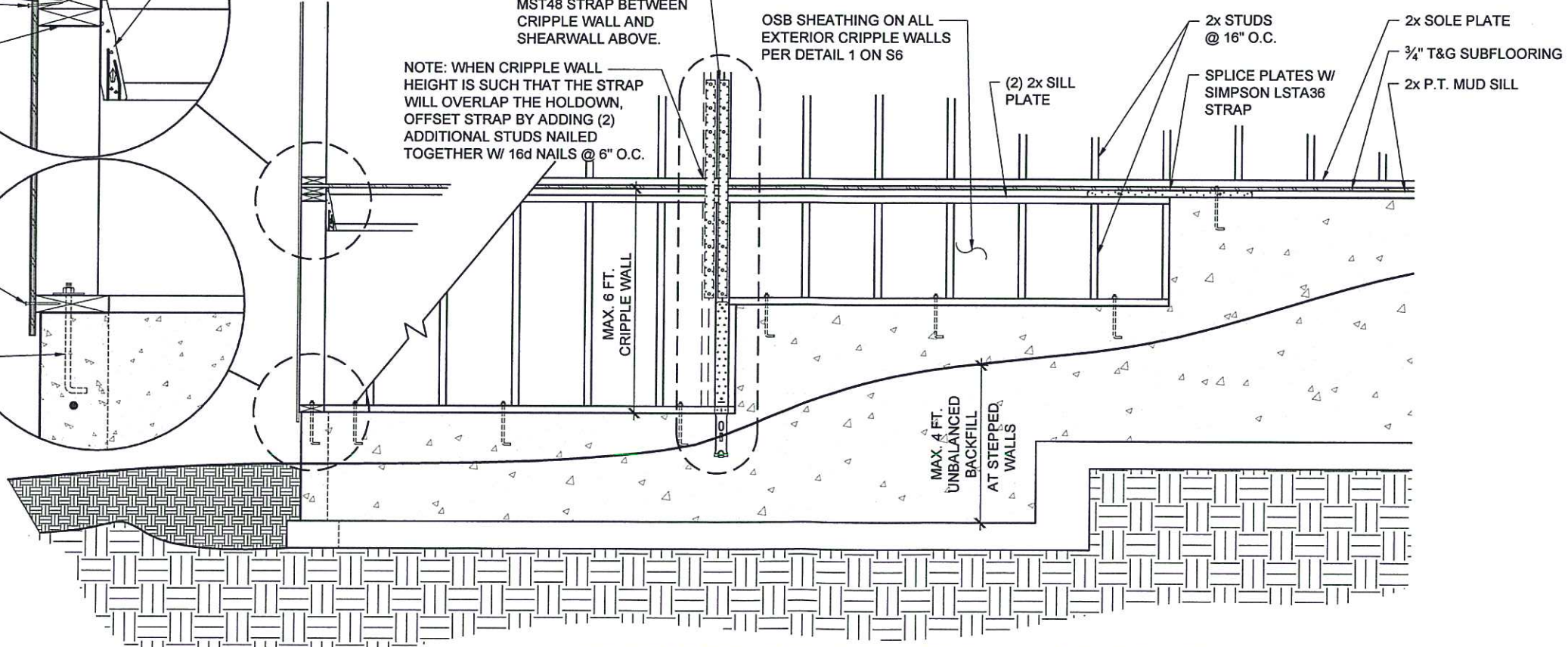
RIM BOARD OPTION

- NOTE:
- FOR SEISMIC DESIGN AREAS D0, D1 AND D2, WHERE UNBALANCED BACKFILL DOES NOT EXCEED 4'-0" AND STEM WALL DOES NOT EXCEED 4'-6" IN HEIGHT, STEM WALL IS PERMITTED TO BE 6" THICK W/ (1) #4 CONTINUOUS REBAR WITHIN TOP 12" OF FOUNDATION WALL. (§ R404.1.4.2, EXCEPTION 3.)
 - WHERE THERE IS MORE THAN 4'-0" OF UNBALANCED BACKFILL WALLS MUST BE Laterally RESTRAINED AT THE TOP AND BOTTOM (OR) DESIGNED AS A RETAINING WALL.
 - ALL CRIPPLE WALLS ARE TO BE SHEATHED AND NAILED PER SHEARWALL DETAILS AS SHOWN ON PLANS. WHEN PLANS CALL FOR A HOLDOWN AND THERE IS A CRIPPLE WALL AT THAT LOCATION, THERE MUST BE A CONNECTION MADE FROM THE FOUNDATION TO THE MAIN LEVEL SHEARWALL.
 - USE A SIMPSON MST48 STRAP AT HOLDOWN LOCATION TO CONNECT CRIPPLE WALL TO SHEARWALL ABOVE (SEE DETAIL 1 BELOW).
 - IF CRIPPLE WALL IS TOO SHORT TO FIT ENTIRE STHD HOLDOWN, OR IS MISPLACED, OR IS OTHERWISE UNUSABLE, THERE MUST BE AN ALTERNATIVE HOLDOWN INSTALLED. THE FOLLOWING METHODS APPLY TO RIM BOARD OR HUNG FLOOR SYSTEM. USE ONE OR MORE OF THE FOLLOWING METHODS:
 - USE SIMPSON HTT5 ATTACHED TO 3" FRAMING AT MAIN LEVEL WALL W/ (26) 10d x 2 1/2" NAILS AND 5/8" Ø THREADED ROD EMBEDDED MINIMUM 11" INTO CONCRETE STEM WALL USING SIMPSON AT-XP EPOXY (SEE ALT. HOLDOWN OPTION 1).
 - USE SIMPSON HTT5 ATTACHED TO 3" FRAMING AT MAIN LEVEL WALL W/ (26) 10d x 2 1/2" NAILS AND 5/8" Ø THREADED ROD AND 5/8" COUPLER ATTACHED TO SIMPSON SSB16 ANCHOR BOLT (SEE ALT. HOLDOWN OPTION 2).
 - THIS DETAIL IS INTENDED TO SHOW THE SHEAR TRANSFER FROM THE MAIN LEVEL WALLS TO THE PRESCRIPTIVE FOUNDATION USING CRIPPLE WALLS THAT DO NOT EXCEED SIX FEET IN HEIGHT.



WHEN HOLDOWNS ARE REQUIRED WHERE A CRIPPLE WALL IS USED, CENTER A SIMPSON MST48 STRAP BETWEEN CRIPPLE WALL AND SHEARWALL ABOVE.

NOTE: WHEN CRIPPLE WALL HEIGHT IS SUCH THAT THE STRAP WILL OVERLAP THE HOLDOWN, OFFSET STRAP BY ADDING (2) ADDITIONAL STUDS NAILED TOGETHER W/ 16d NAILS @ 6" O.C.



1 STEPPED FOUNDATION / CRIPPLE WALL
SHEAR TRANSFER TO PRESCRIPTIVE FOUNDATION NTS



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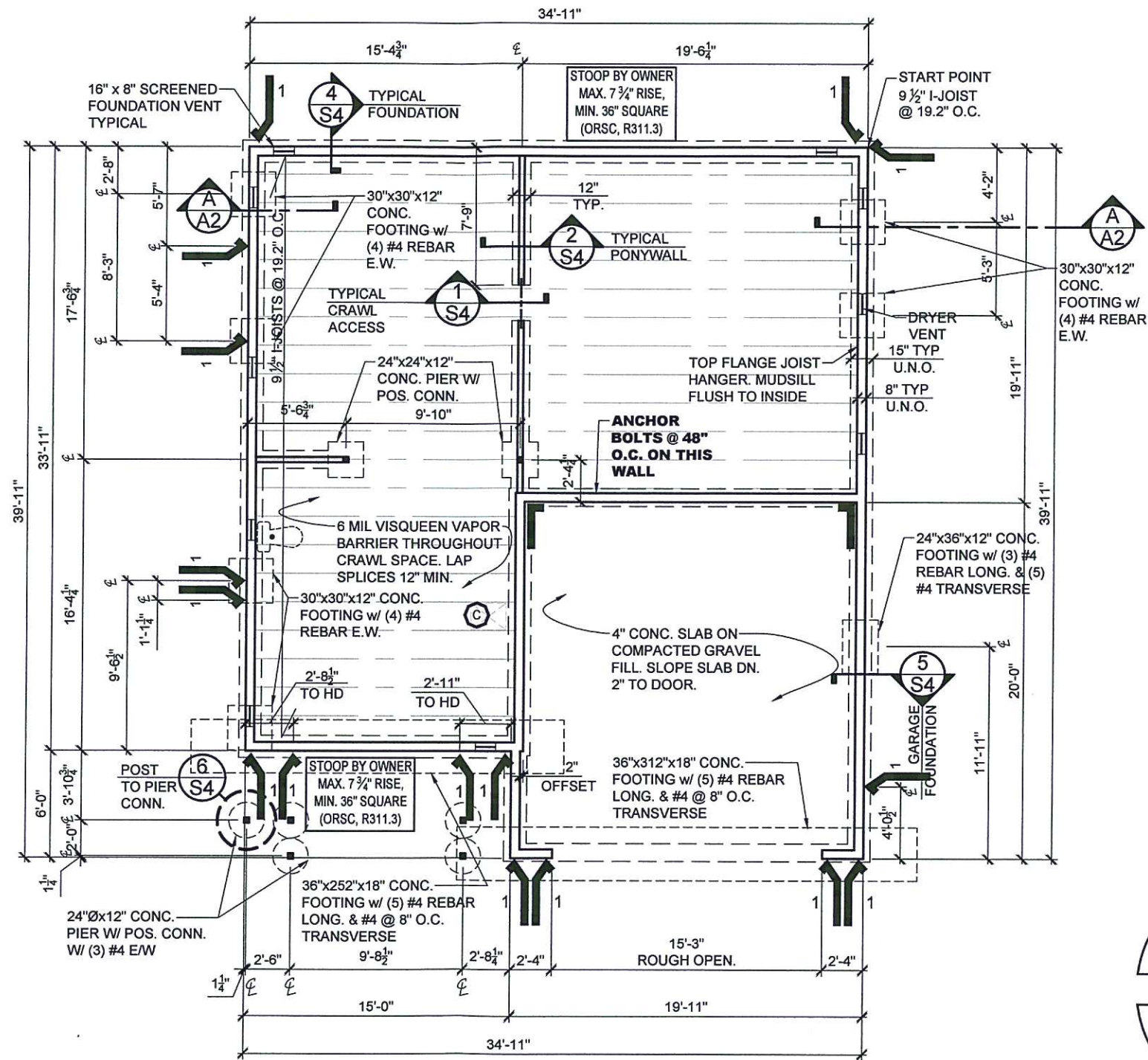
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TALL FOUNDATION
SHEAR DETAILS

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A5



ATTENTION

= "SIMPSON" HDU11 HOLD DOWN SEE DETAIL 2 ON SHEET S6. (TOTAL = 16)

FOUNDATION VENTILATION

TOTAL AREA	= 713 FT ²	= 102,672 IN ²
TOTAL VENTILATION REQUIRED (1/300)	= 342 IN ²	
VENTILATION OPENINGS	= 8" X 16" ASSUMED NFA	= 72 IN ²
TOTAL VENTS REQUIRED	= 5 VENTS	
TOTAL VENTS PROVIDED	= 9 VENTS	
TOTAL VENTILATION PROVIDED	= 648 IN ²	

LEGEND

= 18"X24" INSULATED CRAWL ACCESS W/ WEATHERSTRIPPING

FOUNDATION PLAN
1/8" = 1'-0"



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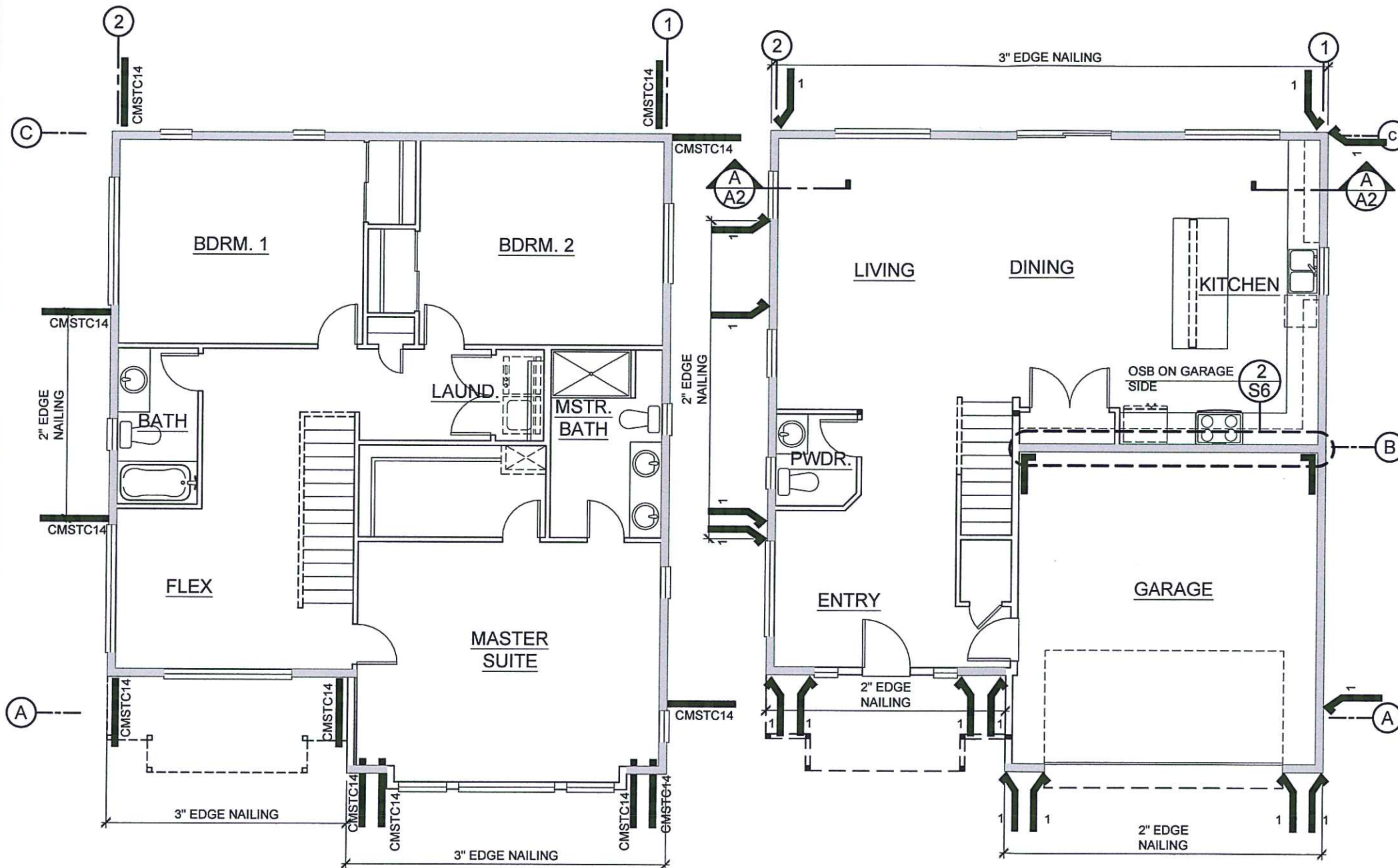
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FOUNDATION PLAN

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PLAN: 2246
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GENERAL LATERAL NOTES

1. NO CHANGES SHALL BE MADE WITHOUT THE CONSENT OF THE GENERAL CONTRACTOR AND BUILDING DEPARTMENT.
2. O.S.B. WALL SHEATHING 15/32" MINIMUM ONLY FOR EXTERIOR SHEARWALLS. NAIL SHEARWALLS PER EXTERIOR SHEARWALL DETAIL 1 ON SHEET S6 U.N.O.
3. NAIL ALL TOP PLATES TOGETHER WITH 10d NAILS @ 12" O.C. AND AT SPLICES W/ 10d NAILS @ 6" O.C. LAP SPLICES A MIN. OF 48" TYPICAL, NAIL ALL BOTTOM PLATES TO FLOOR SHEATHING AND MUDSILL W/ (2) 10d NAILS EACH STUD BAY.
4. FASTEN ALL O.S.B. SHEARWALLS W/ 10d NAILS @ 6" O.C. EDGE AND 12" O.C. FIELD. U.N.O. AT GARAGE PORTALS: FASTEN ALL OSB SHEARWALLS W/ 10d NAILS @ 2" O.C. EDGE AND 12" O.C. FIELD U.N.O.
5. WHERE PLAN REQUIRES SHEATHING TO BE ATTACHED TO THE MUDSILL ON THE PONY WALLS PER SHEARWALL DETAILS, PONYWALL STUDS MAY BE OFFSET TO ALIGN W/ ONE EDGE WHEN A 2x6 MUDSILL IS USED. THIS WILL ALLOW FOR THE REQUIRED MUDSILL ATTACHMENT. SEE PLANS FOR THIS REQUIREMENT.

- LEGEND**
- = SHEARWALL SEGMENT
 - = ATTACH MAIN FLOOR TO UPPER FLOOR "SIMPSON" CMSTC14 STRAPS, SEE DETAIL 4 ON SHEET S5. (TOTAL = 12) END LENGTH = 26".
 - = "SIMPSON" HDU11 HOLD DOWN SEE DETAIL 2 ON SHEET S6. (TOTAL = 16)
 - = "SIMPSON" HTT4 ATTACHED PER DETAIL 3 ON SHEET S7. (TOTAL = 2)



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SHEAR WALL PLAN
1/8" = 1'-0"



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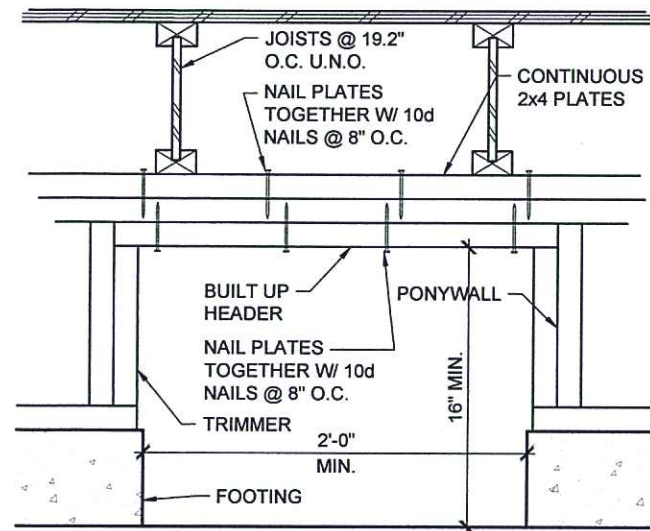
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SHEARWALL PLAN

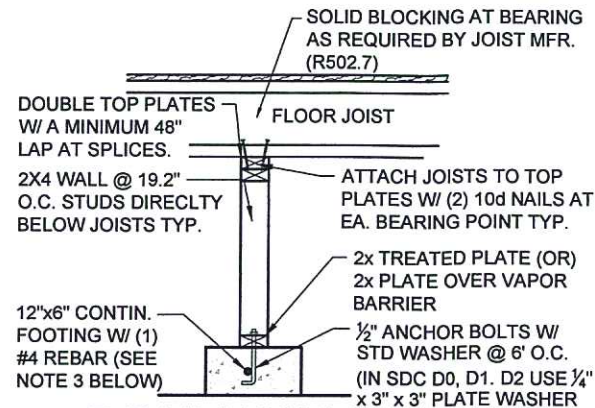
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S2

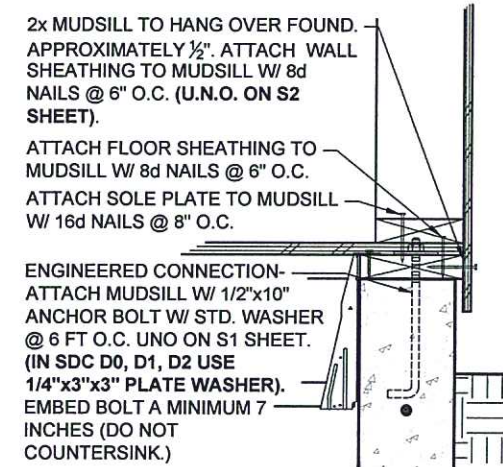


1 CRAWL ACCESS DETAIL
TYPICAL NTS

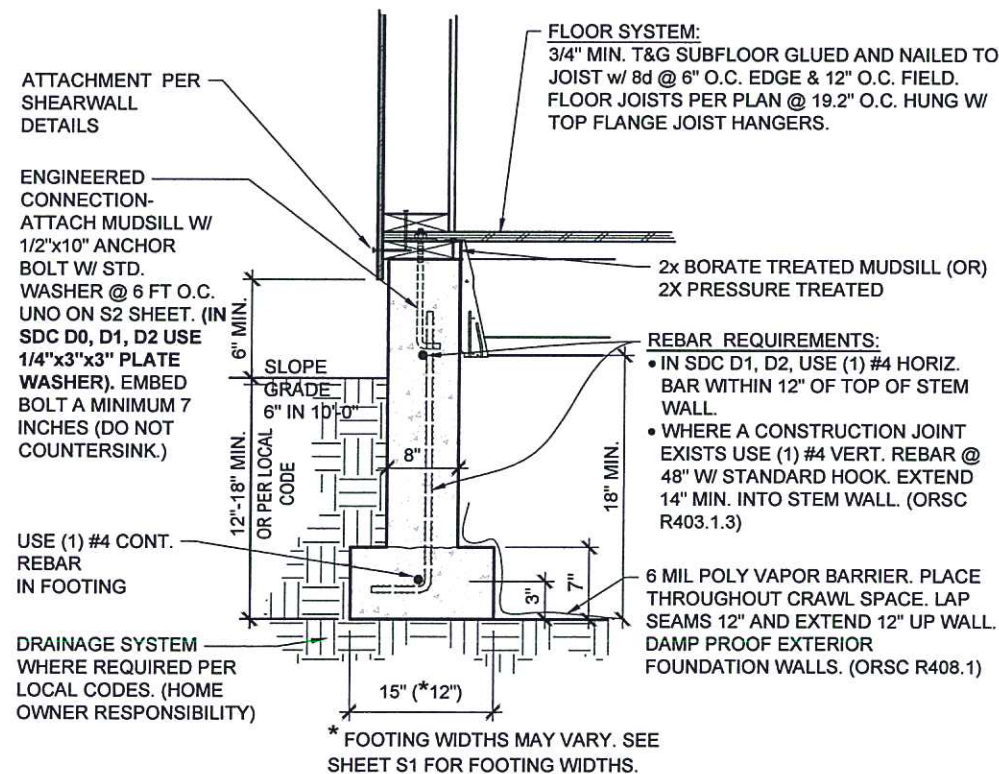


2 PONY WALL DETAIL
TYPICAL NTS

- NOTES:
1. PROVIDE HORIZONTAL BRIDGING BETWEEN STUDS SPACED NOT GREATER THAN 4 FEET APART MEASURED VERTICALLY FROM EITHER END OF THE STUD. MAXIMUM STUD HEIGHT = 10'-0" (TABLE 602.3(5), NOTE A)
 2. INSTALL 7/8" OSB SHEATHING TO ONE SIDE OF PONY WALL ONLY IF WALL IS A CONTINUATION OF AN INTERIOR SHEARWALL FROM ABOVE PER SHEET S1 AND S2. SHEAR NAILING PER SHEARWALL ABOVE.
 3. IN SDC C, FOOTING PERMITTED TO BE PLAIN CONCRETE UNLESS SUPPORTING A SHEARWALL OR LOAD BEARING WALL ABOVE. THEN USE (1) #4 REBAR.

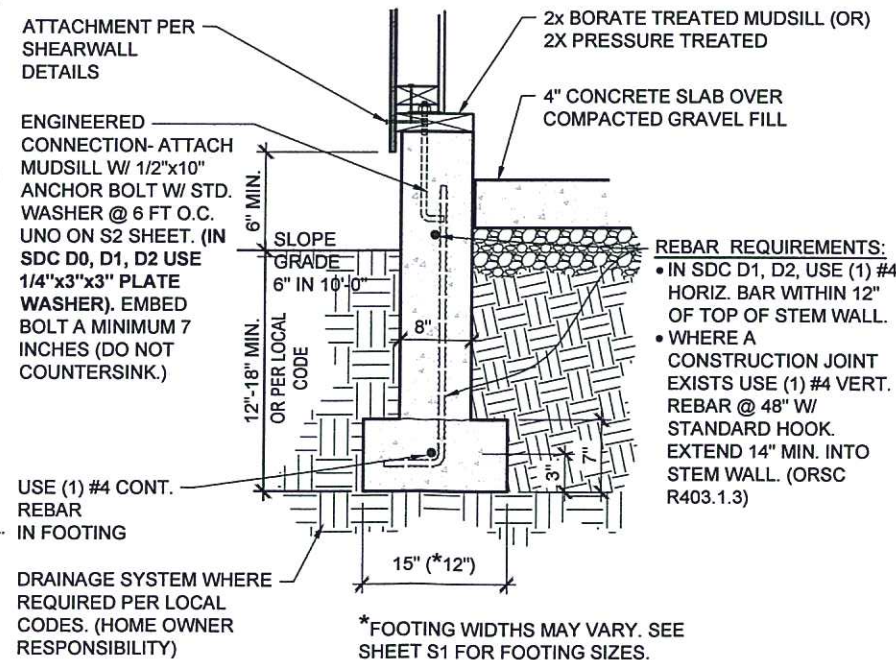


3 SILL CONNECTION
HUNG JOIST NTS



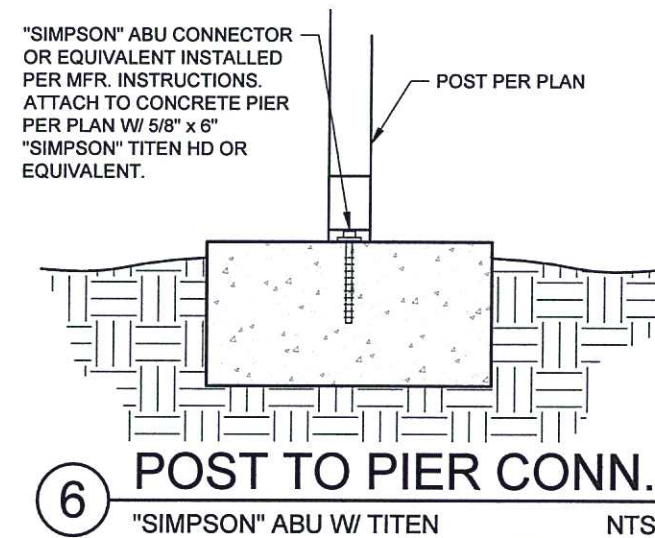
4 FOUNDATION DETAIL
MAX. 4'-6" WALL, MAX. 4'-0" BACKFILL
PREScriptive FOUNDATION NTS

- NOTES:
1. THE MINIMUM YIELD STRENGTH OF REINFORCING STEEL SHALL BE 40,000 PSI (GRADE 40).
 2. WHERE SPLICES ARE NECESSARY, LAP SPLICES 24" MIN.



5 GARAGE FOUNDATION DETAIL
MAX. 4'-6" WALL, MAX. 4'-0" BACKFILL
PREScriptive FOUNDATION NTS

- NOTES:
1. THE MINIMUM YIELD STRENGTH OF REINFORCING STEEL SHALL BE 40,000 PSI (GRADE 40).
 2. WHERE SPLICES ARE NECESSARY, LAP SPLICES 24" MIN.



6 POST TO PIER CONN.
"SIMPSON" ABU W/ TITEN NTS



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S4

FASTEN BLOCKING TO TOP PLATE W/ "SIMPSON" RBC CLIPS @24" O.C. FILL ALL NAIL HOLES.

2x VENT BLOCKING W/ BORED HOLES & INSECT SCREENS. EDGE NAIL W/ 8d NAILS @ 6" O.C. THROUGH ROOF SHEATHING INTO BLOCKING. TOE-NAIL BLOCKING TO EACH TRUSS W/ (1) 10d NAIL EA. END OF BLOCK

INSULATION PER SHEET A2

INSULATION BAFFLE W/ 1" AIR SPACE FOR VENTILATION.

"SIMPSON TRUSS CLIPS PER S3 SHEET. FILL ALL NAIL HOLES. BEND TO CLEAR BOTTOM CHORD. (WHERE REQUIRED AT VAULTS)

(2) 2X6 TOP PLATES W/ MIN. 48" LAP. ATTACH W/ 10d NAILS @ 12" O.C. TYPICALLY AND AT 6" O.C. AT LAPS. U.N.O. SHEET S2

TYP. WALL SHEATHING: SHEATH W/ MIN. 15/32" O.S.B. ATTACH TO WALL STUDS STOOD UPRIGHT OR BLOCKED W/ 10d NAILS @ 6" O.C. EDGE AND 12" O.C. (U.N.O. ON SHEET S2) FIELD. SHEATHING MUST BE ATTACHED TO MUDSILL. SEE S2 SHEET FOR ADDITIONAL REQUIREMENTS.

EXTERIOR WALL STUDS @ 16" O.C.

ATTACH BOTTOM PLATE W/ 10d NAILS @ 8" O.C.

11 7/8" MANUFACTURED "I" JOISTS AND RIM JOISTS PER PLAN.

LAP WALL SHEATHING AT PLATES. LOCATION MAY VARY DEPENDING ON WALL HEIGHTS. ATTACH WALL SHEATHING AT BOTH THE TOP OF THE MAIN LEVEL WALL AND THE BOTTOM OF THE UPPER LEVEL WALL.

ATTACH ALL BOTTOM PLATES W/ 10d NAILS @ 8" O.C.

FLOOR SYSTEM: 3/4" MIN. T&G SUBFLOOR GLUED AND NAILED TO JOIST W/ 8d @ 6" O.C. EDGE & 12" O.C. FIELD. FLOOR JOISTS PER PLAN @ 19.2" O.C.

HOLDOWN CONNECTIONS MAY BE REQUIRED. SEE SHEET S2 FOR TYPE AND LOCATION.

INSULATION PER THE A2 SHEET.

ENGINEERED CONNECTION- SEE FOUNDATION DETAIL.

SEE HOUSE FOUNDATION DETAIL FOR SIZE AND REBAR REQUIREMENTS.

SPLIT SEAM BETWEEN ROOF SHEATHING AND SOFFIT PLYWOOD ON BLOCKING. NAIL EDGES TO BLOCKING W/ 8d NAILS @ 6" O.C.

OSB ROOF SHEATHING PER PLAN

SOFFIT PLYWOOD (WHEN USED)

VENT BLOCKING - ROOF DIAPHRAGM EDGE

TRUSS TAIL

2x6 DOUBLE TOP PLATE

INSULATION

(2) 2x6 VERTICAL

2x6 FLAT

DRYWALL

EXT. SHEATHING

3 GABLE END HEADER DETAIL

TYPICAL NTS

(2) 2X6 TOP PLATES W/ MIN. 48" LAP. ATTACH W/ 10d NAILS @ 12" O.C. TYPICALLY AND AT 6" O.C. AT LAPS.

DIAPHRAGM CONNECTION DETAIL PER PLAN

TYP. WALL SHEATHING: UNLESS NOTED OTHERWISE, SHEATH BOTH SIDES W/ MIN. 1/2" G.W.B. ATTACH TO WALL STUDS STOOD UPRIGHT OR BLOCKED W/ TYPE S OR TYPE W DRYWALL SCREWS @ 4" EDGE AND 4" FIELD. FIRE TAPE ALL SEAMS. SEE THE S2 SHEET FOR ADDITIONAL REQUIREMENTS.

EXTERIOR WALL STUDS @ 16" O.C.

INSULATION PER SHEET A2

FLOOR SYSTEM: 3/4" MIN. T&G SUBFLOOR GLUED AND NAILED TO JOIST W/ 8d @ 6" O.C. EDGE & 12" O.C. FIELD. FLOOR JOISTS PER PLAN @ 19.2" O.C.

HOLDOWN CONNECTIONS MAY BE REQUIRED. SEE THE S2 SHEET FOR TYPE AND LOCATION.

ATTACH G.W.B. SHEATHING TO BOTTOM PLATE AND MUDSILL W/ TYPE S OR W SCREWS @ 4" O.C. EDGE AND 4" O.C. FIELD.

GARAGE SLAB

ENGINEERED CONNECTION- SEE FOUNDATION DETAIL.

SEE GARAGE FOUNDATION DETAIL FOR SIZE AND REBAR REQUIREMENTS.

4 CONNECTION DETAIL

CS14 STRAPS FLOOR TO FLOOR CONN. NTS

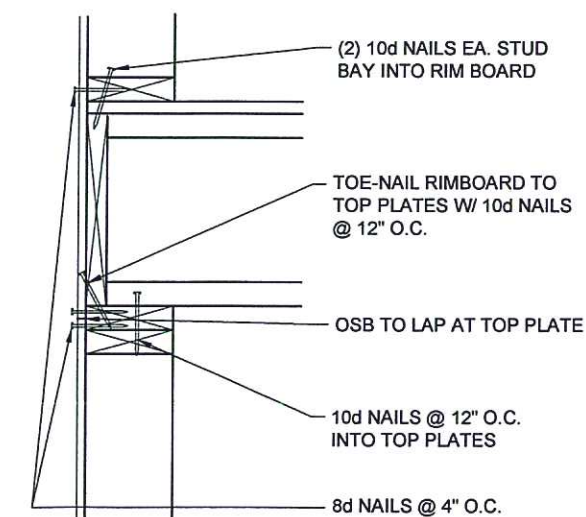
END LENGTH

END LENGTH

ATTACH MAIN FLOOR TO UPPER FLOOR W/ "SIMPSON" CMSTC14 STRAP PER MANUFACTURER INSTRUCTIONS. FILL ALL HOLES.

DBL. 2X STUD

NOTE: SEE SHEET S2 FOR END LENGTH REQUIREMENTS



5 FRAMING DETAIL

FLOOR TO FLOOR CONN. NTS

2 GARAGE FIRE WALL FRAMING

GARAGE / HOUSE SEPARATION WALL JOISTS HUNG TO FOUNDATION WALL NTS

X EXTERIOR WALL FRAMING

TYPICAL WALL FRAMING SECTION NTS



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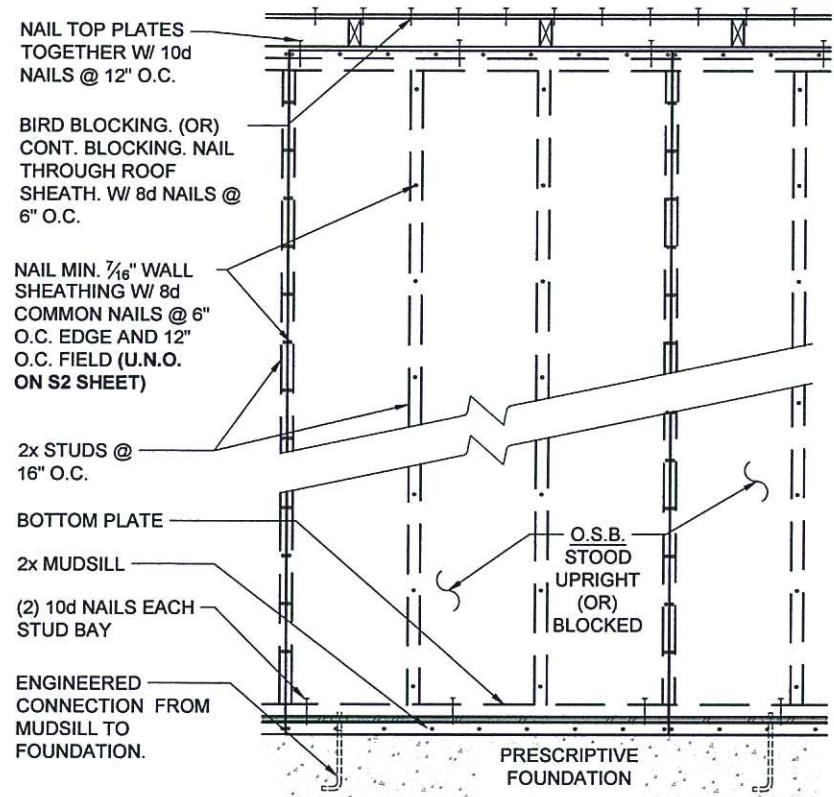
STRUCTURAL
DETAILS

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11306 62ND AVENUE
PUYALLUP WA, 98373
(253) 770-2244 ext. 129

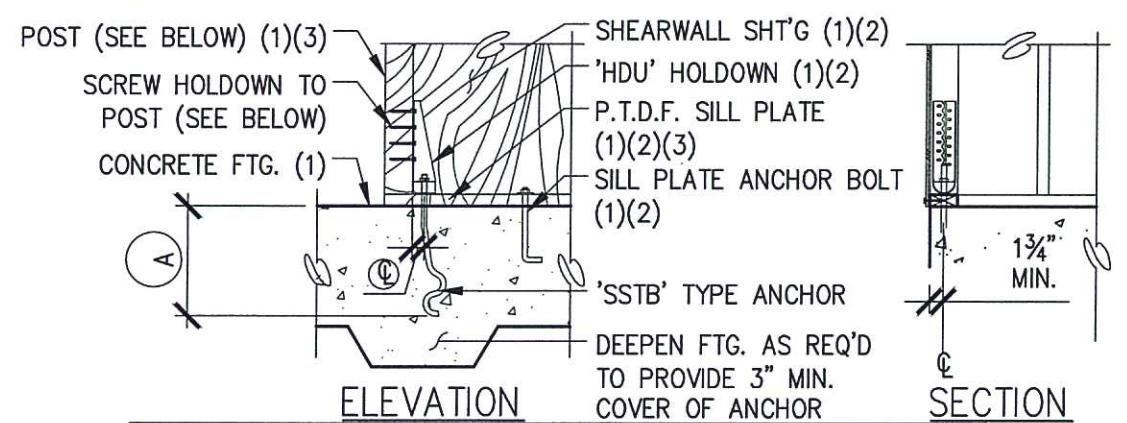
PLAN: 2246
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S5



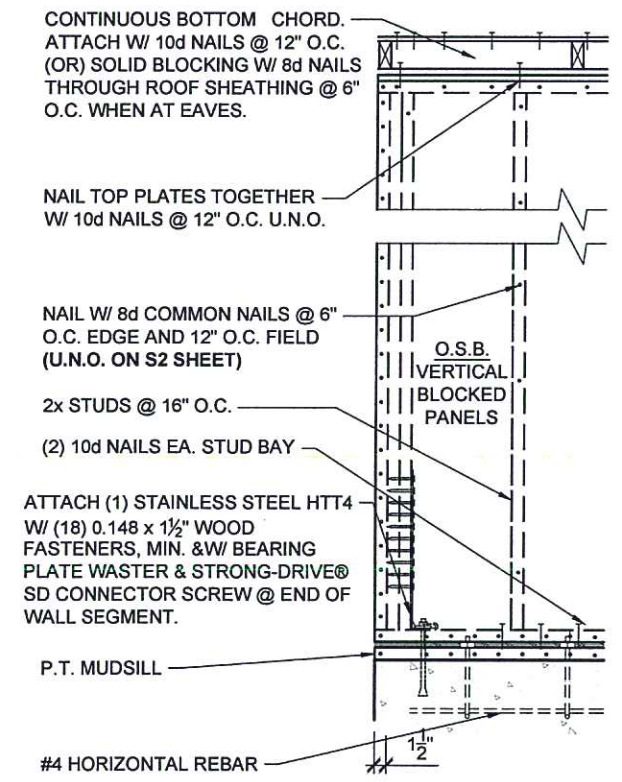
1 EXTERIOR SHEARWALL
OVER PRESCRIPTIVE FOUNDATION WALL NTS



HOLDOWN (4)	POST SCREWS(7)	MIN. POST WIDTH (5)	ANCHOR BOLT (4)			Ø
			DIAM.	(A)	MODEL (6)	
HDU2	6	DBL. 2x	5/8" Ø	21"	SSTB24	1 5/16"
HDU5	14	DBL. 2x	5/8" Ø	21"	SSTB24	1 5/16"
HDU8	20	4x	7/8" Ø	25"	SSTB34	1 3/8"
HDU11	30	8x	1" Ø	24"	SB1x30	1 3/8"
HDU14	36	8x	1" Ø	24"	SB1x30	1 5/16"

- NOTES:
- SEE FRAMING/FOUNDATION PLAN AND NOTES
 - SEE SHEARWALL SCHEDULE AND NOTES
 - MEMBER TO RECEIVE SHEARWALL PLYWOOD EDGE NAILING, FULL LENGTH
 - SEE CURRENT EDITION OF THE SIMPSON 'STRONG-TIE' CATALOG
 - MINIMUM POST SIZE, UNLESS NOTED OTHERWISE ON PLANS
 - WHERE 3x SILL PLATE IS USED, PROVIDE 'SSTBL' MODEL
 - USE SIMPSON SDS 1/4" x 2 1/2" WOOD SCREWS

2 SHEARWALL DETAIL
HDU TYPE HOLDDOWN NTS



3 SHEARWALL DETAIL
SIMPSON HTT4 NTS



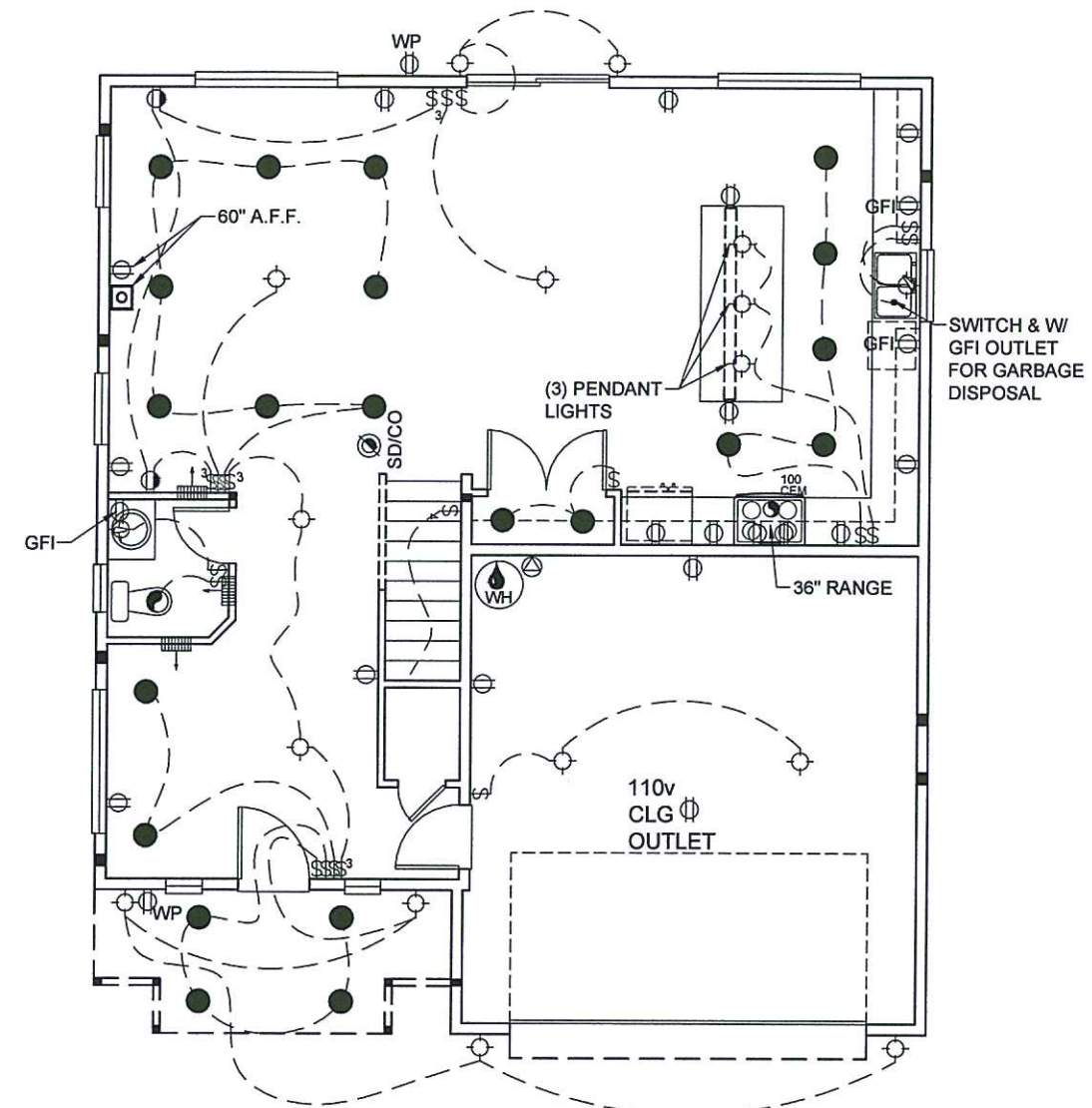
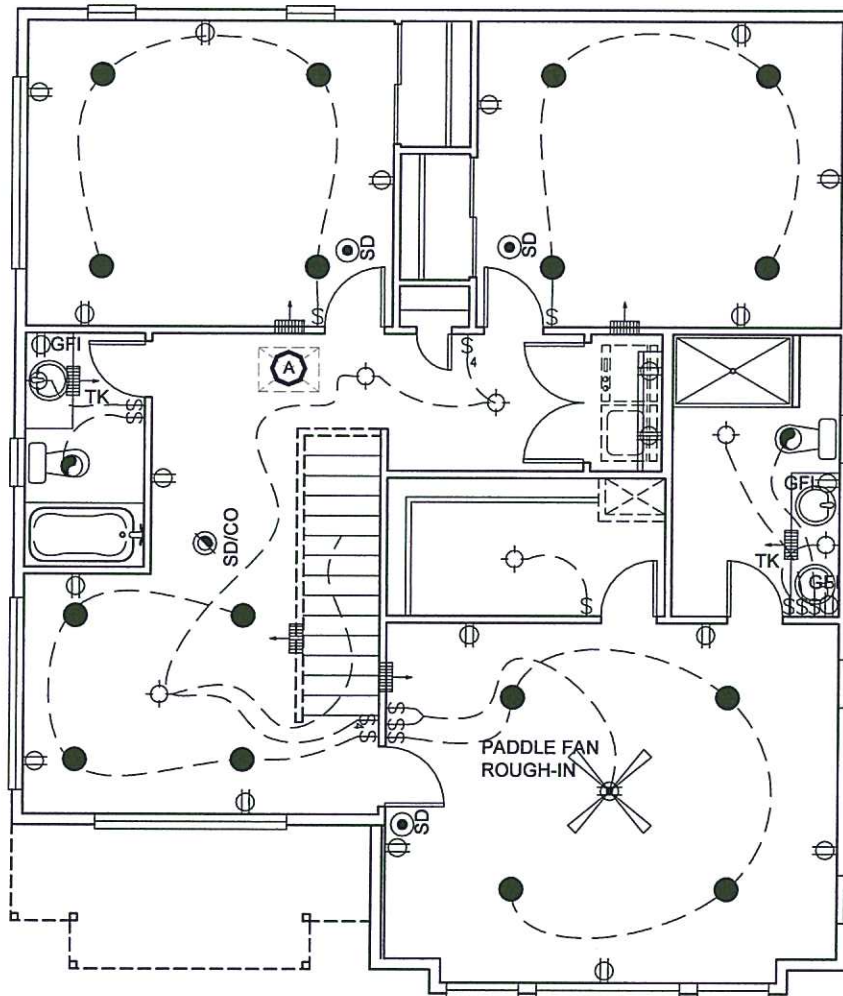
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S6



LEGEND

Ⓐ = 22"X30" INSULATED ATTIC ACCESS W/ WEATHERSTRIPPING

ELECTRIC SYMBOLS

- | | | | |
|------|---------------------------------------|---|------------------------------|
| ⌘ | WALL SWITCH: 3- THREE WAY 4- FOUR WAY | ⊙ | SURFACE MNT. LIGHT |
| ⌘ | D- DIMMER V- VACANCY SENSOR | ● | RECESSED CAN LIGHTS |
| ⊕ | 110 V. DUPLEX OUTLET | ⊕ | EQUIPMENT CONNECTION |
| ⊕ | 110 V. HALF-SWITCHED OUTLET | ⊕ | SMOKE / CARBON MONOXIDE DET. |
| ⊕ | 220 V. OUTLET | ⊙ | SMOKE DETECTOR |
| WP⊕ | WEATHERPROOF OUTLET | ⊕ | EXHAUST FAN - V.T.O. |
| GFI⊕ | GROUND FAULT INTERRUPTER | ⊕ | ZONED ELEC. HEATER |
| △ | TELEPHONE JACK | | |
| ⊕ | TELEVISION OUTLET | | |

NOTE

- EXACT LOCATIONS OF ELECTRICAL FEATURES SUCH AS SWITCHES, OUTLETS, LIGHTS, OPTIONS, ETC. MAY VARY PER BUILD AREA AND ELECTRICAL CONTRACTOR.
- EXACT LOCATIONS OF HVAC SUPPLY AND RETURN VENTS MAY VARY PER BUILD AREA AND HVAC CONTRACTOR.
- ALL PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN HIGH-EFFICACY LAMPS. EXCEPTION: TWO PERMANENTLY INSTALLED LIGHTING FIXTURES ARE NOT REQUIRED TO HAVE HIGH-EFFICACY LAMPS. (ORSC N1107)
- FOR SOLAR READINESS, A SQUARE METAL JUNCTION BOX NOT LESS THAN 4"x4" WITH A METAL BOX COVER SHALL BE PROVIDED WITHIN 24" HORIZONTALLY OR VERTICALLY OF THE MAIN ELECTRICAL PANEL. A MINIMUM 3/4" RIGID METAL RACEWAY SHALL EXTEND FROM THE JUNCTION BOX TO A CAPPED ROOF TERMINATION OR TO AN ACCESSIBLE LOCATION IN THE ATTIC WITH A VERTICAL CLEARANCE OF NOT LESS THAN 36". WHERE THE RACEWAY TERMINATES IN THE ATTIC, THE TERMINATION SHALL BE LOCATED NOT LESS THAN 6" ABOVE THE INSULATION. THE END OF THE RACEWAY SHALL BE MARKED AS "RESERVED FOR SOLAR". (ORSC N1107.4)

ELECTRICAL NOTES

- SMOKE DETECTORS SHALL BE 110v. HARD WIRED WITH BATTERY BACKUP AND SHALL BE INTERCONNECTED. OWNER SHALL BE RESPONSIBLE FOR SMOKE DETECTORS IF A MONITORED FIRE SYSTEM IS REQUIRED.
- ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF PANEL AND METER WITH CONTRACTOR.
- ELECTRICAL CONTRACTOR SHALL PROVIDE HEAT-LOSS CALCULATIONS (OR) FOLLOW THE PRESCRIPTIVE PATH REQUIREMENTS FOR SIZING HEATING EQUIPMENT.
- ELECTRICAL CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE CODES.
- EXACT PLACEMENT OF OUTLETS MAY VARY DEPENDING ON CONSTRUCTION VARIABLES.
- WHERE A DRYER IS VENTED THROUGH A FOUNDATION VENT THE VENT MUST BE COMPLETELY SEALED TO PREVENT MOIST EXHAUST AIR FROM REENTERING THE CRAWL SPACE.

ELECTRICAL PLAN
1/8" = 1'-0"



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ELECTRICAL PLAN

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E1