



Planning Permit Application

CITY OF BANDON PLANNING
 P.O. BOX 67
 555 HWY 101
 BANDON, OR 97411
 P:(541) 347-2437
 F:(541)347-1415

Permit Number:

APPLICATION TYPE (select all that apply)		
<input type="checkbox"/> Annexation*	<input type="checkbox"/> Land Use Review*	<input type="checkbox"/> Subdivision*
<input type="checkbox"/> Certificate of Appropriateness (CoA)*	<input type="checkbox"/> Partition*	<input type="checkbox"/> Vacation*
<input type="checkbox"/> Comprehensive Plan or Zone Amendment*	<input checked="" type="checkbox"/> Plan Review (PR)	<input type="checkbox"/> Variance*
<input checked="" type="checkbox"/> Conditional Use Permit (CUP)*	<input type="checkbox"/> Planned Unit Development (PUD)*	<input checked="" type="checkbox"/> Zoning Compliance (ZC)
<input type="checkbox"/> Floodplain Development*	<input type="checkbox"/> Property Line Adjustment (PLA)*	<input type="checkbox"/> Other _____ *
* Pre-application required		Total Fees: \$

I. PROJECT LOCATION			
Street Address: 3225 Beach Loop Drive SWBandon, OR 97411			
Map Number / Tax Lot(s): 29S15W01BA	/ 2300	Zone: CD-1	Floodplain: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

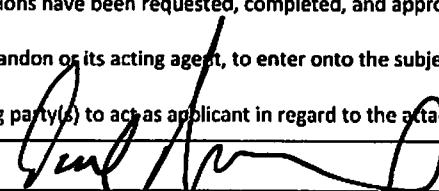
II. APPLICANT'S INFORMATION (applicant is the primary party responsible for development)	
Applicant's Name: BEACH LOOP DRIVE LLC	Phone: (805) 451-7633 E-Mail: david_nordahl@outlook.com
Applicant's Mailing Address: PO BOX 5304, SANTA BARBARA, CA 93150-5304	

III. PROPERTY OWNER'S INFORMATION	
Property Owner's Name: BEACH LOOP DRIVE LLC	Phone: (805) 451-7633 E-mail: david_nordahl@outlook.com
Mailing Address: PO BOX 5304, SANTA BARBARA, CA 93150-5304	

IV. OTHER INFORMATION (APPLICANT'S REP, SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, ETC)	
Title: Applicant's Local Representative	Name: Matt Winkel
Email: mattwinkel@outlook.com	Phone: (541) 404-3762
Title: Project Architect	Name: Joe Slack - HGE
Email: jslack@hge1.com	Phone: (541) 269-1166
Title: Applicant's Contact	Name: Sam McCabe
Email: sam@sagectg.com	Phone: (805) 448-1786

V. PROJECT DESCRIPTION	
Use: <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Other _____	
*Please <u>attach</u> a short narrative that describes your proposed project and indicates the proposed use.	
Major modification of the existing Conditional Use Permit for the Best Western Inn at Face Rock, to include changing the use of an existing manufactured home from residential to commercial by converting it into a laundry/storage/break room and 2 additional guest rooms; converting an existing motel storage room into an ADA accessible guest room; converting the existing restaurant into 4 new guest rooms (including 1 ADA accessible guest room); incorporating an existing single-family house into the hotel as a guest suite; and continued use of an existing clubhouse/multi-purpose building.	

VI. SITE PLAN: Please see our "How to Create a Site Plan" and sample site plan document for requirements and tips on how to create your site plan. Plans must be drawn to scale and may be submitted electronically; printed copies must be submitted on 11x17, ledger size paper (larger or smaller paper sizes will not be accepted).

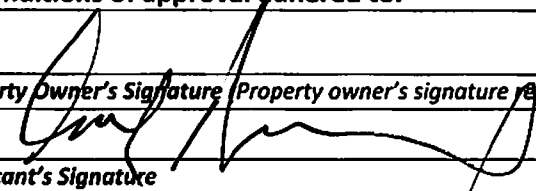
VII. PROPERTY OWNER SIGNATURE/AUTHORIZATION	
<ul style="list-style-type: none"> I have read the application and the attached documentation and I understand that my application may be delayed or deemed incomplete if I have provided insufficient information and documentation to allow for approval. I certify that the information provided in this application, including all submittals and attachments, is true and correct to the best of my knowledge. I understand and agree that all required inspections will be requested 2 business days in advance, and it is the applicant's responsibility to ensure required inspections have been requested, completed, and approved. I authorize the City of Bandon or its acting agent, to enter onto the subject property, as described in section "I. Project location". I authorize the following party(s) to act as applicant in regard to the attached application for the subject property described above. 	
X Applicant's Signature: 	Date: 3/11/21
<i>Property owner's signature required if applicant is not the property owner</i>	
X Property Owner's Signature:	Date:

Development Disclosure

The City of Bandon is obligated to report all ground disturbances within the City of Bandon to the Coquille Indian Tribe. Property owners and applicants must adhere to all conditions and requirements set out by the Coquille Indian Tribe, State Historic Preservation Office (SHPO) or both if required. Please be aware that state statutes and federal law govern how archaeological sites are to be managed. ORS 97.745 prohibits the willful removal, mutilation, defacing, injury, or destruction of any cairn, burial, human remains, funerary objects, or objects of cultural patrimony of a Native Indian. ORS 358.920 prohibits excavation, injury, destruction, or alteration of an archaeological site or object, or removal of an archaeological object from public or private lands.

It is the property owner and applicant's responsibility to determine if additional permits from other agencies will be required, including but not limited to: Oregon State Building Codes, Oregon State Department of Environmental Quality, FEMA, Oregon State Fish and Wildlife and U.S. Fish and Wildlife. If additional permits are required, it is the responsibility of the property owner/applicant to obtain such permits and comply with their conditions of approval.

It is the property owner/applicant's responsibility to provide the City of Bandon all necessary legal documentation related to the property, including but not limited to: proof of ownership, receipts, deed restrictions, vacation records, easement records, etc.

I acknowledge, understand, and agree, that all relevant documentation will be provided to the City of Bandon, and that all required permits and consent will be obtained prior to the start of construction, with all conditions of approval adhered to.	
X	
<i>Property Owner's Signature</i> 	<i>Property owner's signature required if applicant is not the property owner</i>
X	Date
<i>Applicant's Signature</i>	3/11/21 Date

Staff's Signature of Intake: _____ Date: _____

Staff's Signature of Completeness: _____ Date: _____

Staff's Signature of Approval: _____ Date: _____

Submittal Requirements:

1. Completed Pre-Application with summary notes from the Planning Department (if applicable)
2. Complete Planning Permit application (including fees and applicable property records)
3. Signed Development Disclosure
4. Completed Submittal Requirement sheet

Site Plan Requirements (please check that you have completed each of the following)

- Setbacks on all sides of the property (must be marked from the closest structure to the property line)
- Property line must be clearly marked on all sides - if property corners cannot be determined a survey will be required.
- Location of all buildings and proposed building or addition
- Location of all mechanical equipment and proposed equipment (HVAC, propane tanks and enclosures - these cannot be located in the setback area)
- Fences, patios, sidewalks, (if being built along with the construction of a building)
- Decks, steps, porches (these cannot be located in the setback)
- All off-street parking
- Location of the front entrance and all exterior doorways
- Location & material of the driveway
- Direction of roof drainage
- Drywell, if required (must be engineered)
- Location of electric meter base (on the front or no farther than 5 feet down the side)
- Proposed water and sewer line locations
- Water shut off valve must be located beside the water meter box; 6" sewer clean out must be at the property line
- Square footage of the lot, structures including garage (1st & 2nd floors noted separately), and percentage of impermeable surface. (Impermeable surfaces must be shown on the site plan)

Design Feature Requirements (Please check your selections)

*Homes in the R-1 and R-2 zones require a minimum of 6 (at least 3 on the face of the home)
Homes in the CD zones require a minimum of 8 (at least 4 on the face of the home)*

- | | |
|--|--|
| <input checked="" type="checkbox"/> Roof pitch at or greater than 3/12 | <input checked="" type="checkbox"/> Bay windows |
| <input checked="" type="checkbox"/> Covered porch - (minimum of 25 square feet) | <input type="checkbox"/> Cupolas |
| <input type="checkbox"/> Tile or Architectural grade shingles (not composition shingle) | <input checked="" type="checkbox"/> Hip roof |
| <input checked="" type="checkbox"/> Off set of the building face or roof (at least one foot, minimum of 2 feet in cd-1 & cd-2 zones) | <input checked="" type="checkbox"/> Pillars or posts |
| <input checked="" type="checkbox"/> Eaves with a minimum projection of six (6) inches | <input type="checkbox"/> Mullioned windows |
| <input checked="" type="checkbox"/> Horizontal lap siding, cedar shake or shingle on 100% of the exterior | <input type="checkbox"/> Window shutters |
| <input type="checkbox"/> Recessed entry area (minimum depth of three feet) | <input checked="" type="checkbox"/> Clerestory windows |
| <input checked="" type="checkbox"/> Garage (constructed with exterior finish materials matching the residence) | <input type="checkbox"/> Dormers |
| <input type="checkbox"/> Combination of cedar shake and shingle siding or lap siding with stone | <input checked="" type="checkbox"/> Gables |

Additional Required Plans

- Floor plan - Including garage (before and after drawings must be included for remodel/additions)
- Elevation of all structures - All sides must show direction, dimensions, height, design features and depth of eaves/gutters.
- Grade of property and/or grading plan
- Foundation plan for all construction - (for a manufactured home the slab & runner system)
- DEQ septic system permit & plan drawings - (if applicable)
- Geotechnical report - (if applicable)
- Drainage plan - (with engineered drawings if applicable)
- Engineered foundation - (if applicable)

YOUR APPLICATION WILL BE DEEMED INCOMPLETE IF YOUR SITE PLAN FAILS TO LIST ALL REQUIRED INFORMATION, INCLUDING DESIGN FEATURE REQUIREMENTS WHICH MUST ALSO BE SHOWN IN YOUR SUBMITTED ELEVATION PLANS.

INSPECTION SCHEDULE: All city inspections must be requested at least 2 business days in advance. Failure to schedule or complete required inspections may delay the final approval of your project.

Code Compliance Inspection List:

Inspection # 1: Compliance with approved site plan Inspection required prior to pouring foundation footings.

Inspection # 2: Compliance with approved floor plans and elevation drawings - Inspection required after the roof trusses are placed but prior to any cover being installed.

Inspection # 3: Compliance with approved plans for drainage, utility service, off-street parking, any required street improvements, house numbering and authorized land use approvals. - Inspection required upon completion of structure and related site work, prior to occupancy. This inspection is done **AFTER** the State Building Codes inspectors have approved a final inspection for the project.

Public Works Inspection List:

Inspection # 1: Lot Drainage; Compliance with approved drainage plan - Inspection required prior to any drainage work.

Inspection # 2: Culvert; Compliance with approved plan - Inspection required prior to covering.

Inspection # 3: Water shut off control valve; per APWA Standards - Inspection required prior to covering.

Inspection # 4: Sewer lateral and clean out (6" at property line per Compliance with APWA Standards); Compliance with City requirements - Inspection required prior to covering.

Inspection # 5: Driveway: Per APWA Standards - Inspection required prior to pouring paving material.

Oregon Law allows the City up to 30 days to review an application to determine whether or not the application is "complete" or "incomplete." Planning staff strives to be responsive and minimize this review period. However, careful and thorough reviews lay a foundation for smoother and quicker subsequent review processes. A pre-application may be required prior to the submittal of an application. Please visit the City's website for submittal requirements <http://www.cityofbandon.org/general/page/welcome-planning-department>. Incomplete applications will not be scheduled for public hearing or plan review, until all of the required materials are submitted.

Other agency contacts:

City of Bandon	http://www.cityofbandon.org/	(541) 347-2437
State Building Codes (coos bay)	http://www.oregon.gov/bcd/permit-services/Pages/coos-county.aspx	(541) 266-1098
State Fire Marshall	http://www.oregon.gov/osp/sfm/Pages/index.aspx	(541) 618-7951
State Department of Environmental Quality (DEQ)	http://www.oregon.gov/DEQ/Pages/index.aspx	(541) 269-2721
U.S. Fish and Wildlife	https://www.fws.gov/	(541) 888-1470
Oregon Fish and Wildlife	http://www.dfw.state.or.us/	(541) 888-5515
Coquille Indian Tribe	http://www.coquilletribe.org/	(541) 756-0904
Coos County Planning Department	http://www.co.coos.or.us/Departments/Planning.aspx	(541) 396-7770
Coos County Assessor's Office	http://www.co.coos.or.us/Departments/Assessors.aspx	(541) 396-7900
FEMA (floodplain issues)	https://www.fema.gov/	
Department of State Lands (DSL)	http://www.oregon.gov/dsl/pages/index.aspx	

How to create a Site Plan

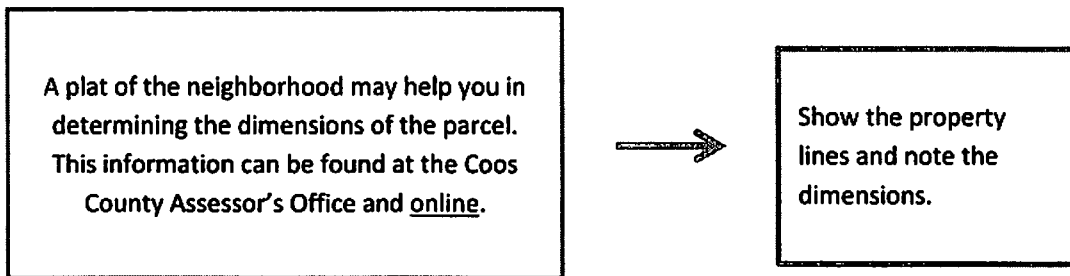
A **Site Plan** is a drawing of your property as seen from above that shows key information about your project. Listed below are key components of a site plan that must be included when applicable. Please draw clearly and accurately on 11" x 17" paper. No other paper size will be accepted.

1. Use a Scale

Choose a standard scale (Engineering or Architectural) and note the numeric scale used on plan (i.e. 1 inch = 20 feet).

2. Draw Property Lines

Label all dimensions in feet. Show surrounding streets.



3. Draw all Buildings and Structures on the Plan

Show existing buildings and structures as a solid line and all additions as a dashed line. Be sure to also show the precise footprint of all buildings or structures including, but not limited to steps, decks, porches, fences, eaves, gutters, and any meter boxes, propane tanks and HVAC platforms. Dashed lines should also be used to indicate changes above (roof) or below (septic) grade.

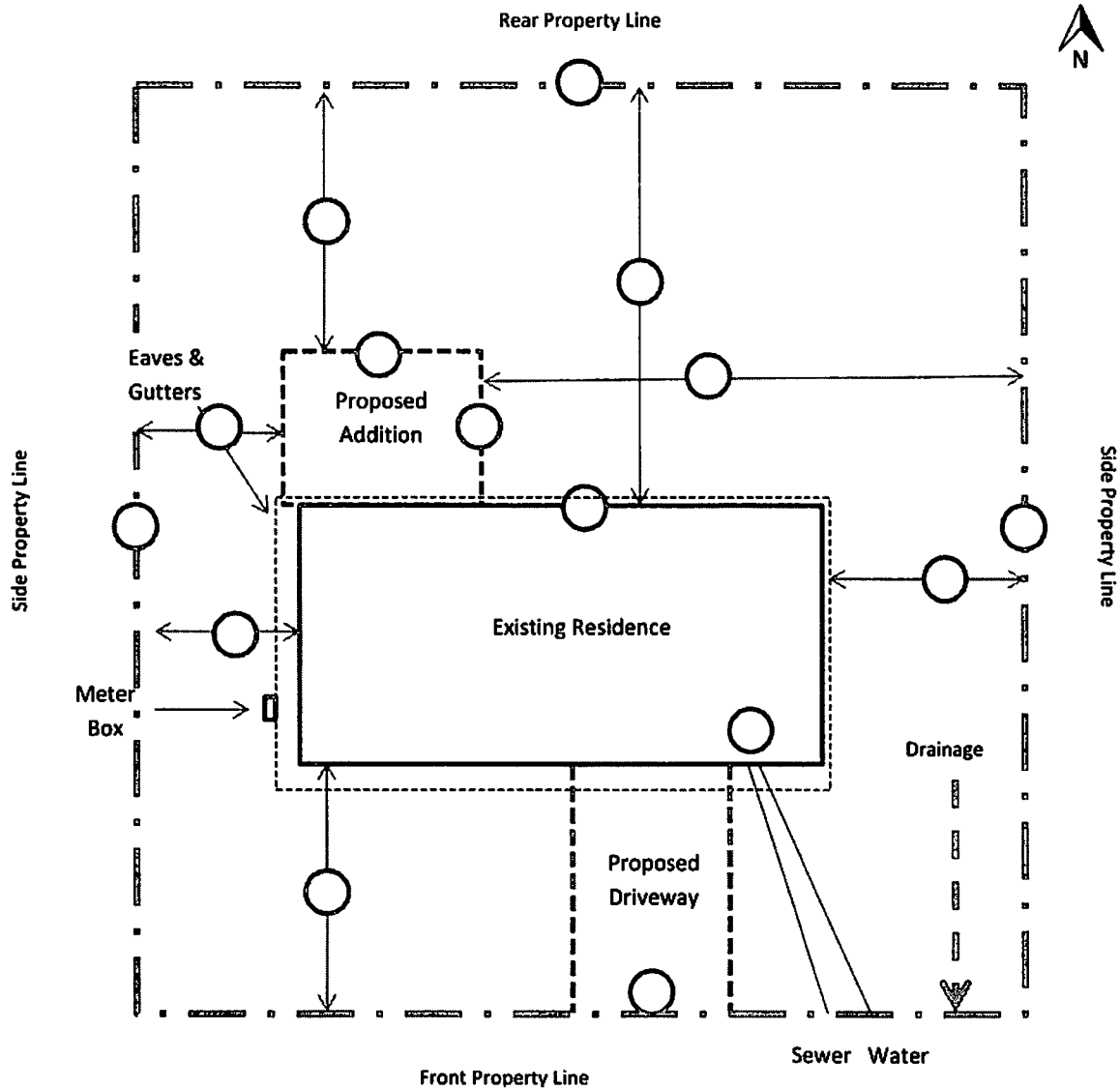
4. Draw Driveway and Parking on the Plan

Show all impermeable surfaces including parking areas, driveways, walkways, and patios in their precise locations in relation to your property lines and with their accurate footprint. Show proposed paved areas with a dashed line. You must also show the percent of your land that contains impermeable surfaces.

5. Other Items that must be on the Plan

- Tax Map #, Address, Property Owner, and north arrow. Drainage, meter box location, and required landscape buffers such as vision clearance.
- Required setbacks, any known easements, and water and sewer connection.
- Materials list for any hard surfaces may also be necessary
- Topographic information, including elevations and direction of slope.

Sample Site Plan



House Number and Street Name
Applicant's Name

- Additional information including: materials list for hard surfaces, location of meter box, known easements, applicable vision clearance, etc.

Note: On the site plan you create, please show distances in feet where you see circles shown on the Sample Site Plan above.

City of Bandon Development Fact Sheet

- System Development Charges (SDCs) must be paid in full or bonded prior to the release of your Zoning Compliance permit. SDCs may be bonded over 10 years at a 6% interest rate and are recorded as a lien against the subject property. *Please contact the Finance Department for more information about SDC Lien Agreements.*
- Water service may be applied for by requesting a Work Order. Water service requires a \$500.00 deposit.
- If your building is over 2,500 square feet, 3" electrical conduit will be required.
- The City charges actual costs for water service installation. Your \$500.00 deposit is applied to the cost of installation, with any remaining balance being refunded or billed upon completion of the work.
- Sewer service requires inspection upon connection. Call the City to arrange a Work Order for the inspection.
- Electric service may be applied for by requesting a Work Order. Utility Department staff will inform you of the cost for your electric service. The City charges actual costs for electric service. You will be billed for those costs on your utility billing, or by a miscellaneous billing.
- All utilities are considered temporary until the City's final inspection has been completed and approved, and a Certificate of Occupancy has been issued
- A **Public Works Permit** must be completed for any construction activity in the City's right-of-way. Any damage done to the City's right-of-way must be repaired to the level of the improvement prior to the damage.
- The City will bill the property owner or contractor for engineering required by the City (drainage, streets, subdivisions etc.).
- The City may require a property survey prior to the #1 Code Compliance inspection.
- If the contractor or the applicant owes the City for utilities, engineering, service fees, etc. for any project, the Certificate of Occupancy will not be issued until payment has been made in full.
- Zoning Compliance permits *expire* one year after the date of issue. A one-time, six month extension may be requested. If an extension is not requested prior to expiration of your Zoning Compliance permit, you will be required to re-apply for a new permit.
- Ingress/egress at the construction site must be **graveled** so that dirt, mud, and debris from the construction site do not get on the sidewalk or street.
- The Utility Department requires a **legal description** (map & tax lot number or tax account number) in order to process an application for water and/or sewer service.
- All subdivisions, commercial developments, and residential developments must provide the City with as-built plans showing public improvements and utilities including but not limited to streets, signage, sidewalks, water, sewer, street drainage, street lights & electric.

Please remember to post your Zoning Compliance permit card on site



Conditional Use Form

Supplemental to Planning Permit Application

CITY OF BANDON PLANNING
 P.O. BOX 67
 555 HWY 101
 BANDON, OR 97411
 P:(541) 347-2437
 F:(541)347-2415

I. Findings of Fact: Conditional Use Permits may be approved if the Planning Commission finds that the applicant has shown that approval standards A through H of the Bandon Municipal Code (BMC), listed below, have been met. The burden of proof is on the applicant to show how the request meets the approval standards and code provisions. A written response to all applicable approval standards and provisions must be part of your application. If a standard or provision is not applicable to your request, explain why. Attach as many sheets of paper as necessary; be sure to address each standard and provision.

Approval standards for conditional uses (BMC 17.92.130)

The approval of all conditional uses shall be consistent with:

- A. The Comprehensive Plan;
- B. The purpose and dimensional standards of the zone except as those dimensional standards have been modified in authorizing the conditional use permit.
- C. That the site size and dimensions provide adequate area for the needs of the proposed use;
- D. That the site size and dimensions provide adequate area for aesthetic design treatment to mitigate possible adverse effect from the use of surrounding properties and uses;
- E. The characteristics of the site are suitable for the proposed use considering size, shape, location, topography and natural features;
- F. All required public facilities and services have adequate capacity to serve the proposal, and are available or can be made available by the applicant;
- G. The proposed use will not alter the character of the surrounding area in a manner which substantially limits, impairs, or precludes the use of surrounding properties for the permitted uses listed in the underlying zoning district;
- H. All other requirements of this title that apply.

1. Project Description:	
(Please check all that apply) <input checked="" type="checkbox"/> Change of Use <input type="checkbox"/> New Construction <input checked="" type="checkbox"/> Alterations <input type="checkbox"/> Other:	Additions to Building: <input checked="" type="checkbox"/> Rear <input checked="" type="checkbox"/> Front <input type="checkbox"/> Height <input checked="" type="checkbox"/> Side Yard
Present Use: Manufactured home; restaurant; storage room; single-family residence; and clubhouse/multi-purpose building.	
Proposed Use: Laundry/storage/break room; 7 guest rooms (including 2 ADA guest rooms); 1 guest suite; and clubhouse/multi-purpose building.	

In addition to this completed form, the applicant must provide the following:

- A completed Planning Permit Application: Conditional Use Permit. (Pre-application required)
- Written Findings of Fact addressing all approval standards and provisions.
- Other information deemed necessary by the Planning Director to allow review of the applicant's proposal.
- Payment of applicable review fees, which can be found on the City's web page.

<i>I hereby certify that the statements contained herein are in all respects true and correct to the best of my knowledge and belief.</i>	
X	Date 3/11/21
Property Owner's Signature	
X	Date 3/11/21
Applicant's Signature	

AN ELECTRONIC COPY OF THIS FORM IS ACCEPTABLE FOR THE PURPOSE OF FILING AN APPLICATION. HOWEVER, THE ORIGINAL WILL BE REQUIRED PRIOR TO FINAL APPROVAL.

BEST WESTERN INN AT FACE ROCK

3225 Beach Loop Drive
Bandon, OR 97411

Project Description

This request is for a major modification of the existing Conditional Use Permit for the Best Western Inn at Face Rock, to include and incorporate the following improvements and facilities:

1. Changing the use of an existing modular home from residential to commercial, and converting it into a laundry/storage/break room and 2 additional guest rooms. Other than exterior access walkways, decks, and ramps, no expansion or additions to the subject modular home are being proposed.
2. Converting an existing storage room into an ADA accessible guest room. This will not require any expansion or addition to the exterior of the existing motel building.
3. Converting the existing restaurant into 4 new guest rooms, including 1 new ADA accessible guest room. This will not require any expansion or addition to the exterior of the existing restaurant building.
4. Changing the use of an existing single-family residence from residential to commercial by incorporating it into the motel as a large guest suite. This will not require any expansion or addition to the exterior of the existing building.
5. Continued use of an existing clubhouse/multi-purpose building for a variety of uses for which it has been utilized for many years, such as meetings, conferences, weddings, community events and dinners, etc. No expansion or additions to the existing building are being proposed.

Approval Standards for Conditional Uses (BMC 17.92.130)

A. THE COMPREHENSIVE PLAN:

As discussed below, the proposed Best Western Inn at Face Rock project not only complies with all of the requirements of the Bandon Comprehensive Plan, but, in fact, promotes and significantly furthers the accomplishment of the City of Bandon's goals objectives, and policies, particularly regarding Land Use, Economic Development, Transportation, Economic Development, and Tourism.

Land Use Goal 2: Land Use Planning

The Bandon Comprehensive Plan states, *“It is the City’s policy to provide appropriate, well-integrated, non-conflicting and orderly areas to accommodate present and future needs of the community. Tourist Commercial Development to minimize potential conflicts between tourist commercial activities and general commercial activities, segregate these two commercial uses. Place tourist commercial uses in areas frequented by tourists, such as Beach Loop Road, and Old Town.”*

The proposed laundry room, employee break room, storage room, 7 new guest rooms, (including 2 additional ADA accessible guest rooms), 1 new large guest suite, and continued use of the clubhouse/multi-purpose building are all facilities that are appropriate, well-integrated, non-conflicting, and typically included in hotels, motels, and lodging facilities. Based on current and projected demands for such uses as ADA accessible guest rooms and community activity facilities and meeting spaces, the proposed project is clearly designed to accommodate present and future needs of the community. The Best Western Inn at Face Rock is located on Beach Loop Drive, in an area specifically designated by the Comprehensive Plan as the desired location for such tourist commercial uses.

Economic Development Goal 9: Economy of the State

The Bandon Comprehensive Plan states, *“The city will actively promote the health of its economy by encouraging economic development that is compatible with the city’s infrastructure, service provision capabilities, environment and the community’s high standards for quality of life. The city supports growth management and the planning of development to protect resources and maximize its economic assets and advantages. It is the policy of the City to enhance the economic well-being of the residents of Bandon by encouraging the expansion and diversification of the city’s economy through the following actions: 1. Tourism. Guard the scenic appeal and character of Bandon by the careful development of tourist facilities.”*

Tourism, together with the jobs it creates, businesses it supports, and transient occupancy taxes it generates, is a major cornerstone of the City of Bandon’s economy. Overnight lodging facilities are critical to that economic base. As shown in the photographs and video which are included with this application, the Best Western Inn as Face Rock is a very high quality development. The addition of 7 new guest rooms (2 of which are ADA accessible guest rooms), 1 new large guest suite, and continuing to provide a facility for meetings, conferences, weddings, community events, and dinners will help maximize the City’s assets and advantages, and enhance the economic well-being of Bandon residents through the careful development of tourist facilities that are compatible with the community’s high standards for quality of life.

Transportation: Goal 12

The Bandon Comprehensive Plan states, *“The City will require limited or shared access points along arterials and collectors as is necessary to preserve traffic-carrying capacity.”*

Since the proposed project only involves the remodeling, conversion, and continued use of existing buildings, no additional vehicle access points are being proposed or required along any City arterial or collector streets. As discussed in **Item G** below, the proposed new uses and conversions will reduce the potential traffic impacts on surrounding streets, thereby preserving and expanding the *“traffic-carrying capacity”* of those streets.

Land Use By Area

The Bandon Comprehensive Plan divides the City into *“six specific geographic areas”*, one of which is Jetty-Beach Loop Road: *“The Plan proposes that Tourist Commercial development outside of the CDA be clustered around existing locations (as shown on the Plan map). Clustering of Tourist Commercial development is consistent with the Bandon Zoning Ordinance and serves to prevent a pattern of strip development along the Beach Loop Road.”*

The existing modular home, the existing storage room, the existing restaurant, the existing single-family residence, and the existing clubhouse/multi-purpose building are all located within the Best Western Inn at Face Rock property envelope. Incorporating these tourist commercial uses into the same cluster as the other existing guest rooms and facilities is consistent with the Bandon Zoning Ordinance and serves to further the objective of preventing a pattern of strip development along Beach Loop Drive.

Economic Characteristics

The Bandon Comprehensive Plan states, *“The newest but fastest growing of Bandon's economic functions are those related to tourism, recreation and retirement. Visitors support numerous businesses located along Hwy 101, the Hwy 101/42 intersection, in Old Town, in the Woodland Addition, and at the Jetty and along Beach Loop. Much of this tourist activity is not "destination" oriented, but is "drive through", made up of people stopping at Bandon while visiting several places on the coast. Consequently, the plans of the city to become more of a destination point will benefit this sector. The ability of the city to capture the 'drive through' business is related to its ability to induce people to stop while travelling through. The tourism market is based on drive-through traffic, though the city has made progress in becoming more of a destination in recent years. For Bandon to retain its share of recreational activity, the city should consider additional steps to make itself a desirable destination rather than a drive-through area. In order to do this, the city must develop its unique qualities, allow for expansion of overnight services, increase its range of recreational services to provide a wider variety of recreational experiences, and consider ways to recruit tourists.”*

Providing additional guest rooms, additional ADA accessible guest rooms, a new large guest suite, and continuing to provide a facility for meetings, conferences, weddings, community events and dinners, etc. furthers the City's goal of promoting "destination tourism" vs. just "drive through" visitors. For many years, the Best Western Inn at Face Rock has been improving Bandon's function as a tourist destination. This is evidenced by the fact that only approximately 15% of the guests spend one night, with approximately 85% of its guests spending two nights or more. This conclusion is further supported by the fact that an average of only 10%-15% of the visitors are "walk-ins" vs. an average of 85%-90% having advanced reservations. Also, continuing to provide and promote a facility for meetings, conferences, weddings, community events and dinners; offering a direct ocean beach access; and adding the additional guest rooms and ADA accessible guest rooms will further increase and promote the City of Bandon as a tourist destination point.

Converting the existing restaurant into guest rooms will reduce the number of restaurants competing for the limited number of customers available, thereby providing a direct benefit to the other remaining restaurants and locally-owned businesses in the community. As opposed to re-opening this on-site facility, converting that space into guest rooms will result in more Best Western Inn at Face Rock guests being directed to the other food service establishments for their meals, which will also mean additional potential customers for the other tourist businesses along Highway 101, Old Town, and Beach Loop Drive, in accordance with the goals of the Comprehensive Plan.

B. THE PURPOSE AND DIMENSIONAL STANDARDS OF THE ZONE EXCEPT AS THOSE DIMENSIONAL STANDARDS HAVE BEEN MODIFIED IN AUTHORIZING THE CONDITIONAL USE PERMIT:

Bandon Municipal Code (BMC), Chapter 17.20, CONTROLLED DEVELOPMENT 1 (CD-1) ZONE, states, "*The purpose of the CD-1 zone is to recognize the scenic and unique qualities of Bandon's ocean front and nearby areas and to maintain these qualities as much as possible by carefully controlling the nature and scale of future development in this zone. It is intended that a mix of uses would be permitted, including residential, tourist commercial and recreational.*" BMC 17.20.030 specifically lists "*Motel, motel*" as Conditional Uses within the CD-1 Zone.

The proposed modular home conversion, restaurant conversion, additional ADA accessible guest rooms, incorporating the existing single-family residence as a large guest suite, and continuing to provide the existing clubhouse/multi-purpose building facilities clearly further the purpose of the Controlled Development 1 (CD-1) Zone in which they are located, and will continue to meet the dimensional standards of that zone.

The Inn at Face Rock was initially approved by the City of Bandon and constructed around 1980, with multiple approved upgrades and improvements since then. The house at 1283 Seacrest Drive was approved by the City of Bandon and constructed as a single-family dwelling in 1982. The existing clubhouse/multi-purpose building was approved by the City

in 1993, and the existing modular home was approved by the City and installed in 1996. All of that construction and development was approved by the City of Bandon, and found by the City to fully comply with the purpose and dimensional standards of the CD-1 Zone. Other than exterior access walkways, decks, and ramps to serve the proposed new uses of the modular home, no building expansion or additions are being proposed.

BMC 17.20.040 states, *“Siting of structures should minimize negative impact on the ocean views of existing structures on abutting lots. Protection of views from vacant building sites should also be taken into consideration. Where topography permits, new structures should be built in line with other existing structures and not extend farther out into those views.”*

As previously discussed, and as shown on the attached plans, the ADA accessible guest room conversion, the restaurant conversion, incorporating the existing single-family house into the motel as a large guest suite, and continued use of the clubhouse/multi-purpose building will all take place within existing buildings. All of these buildings are located within the overall envelope of the Best Western Inn at Face Rock development, and their locations have previously been reviewed, approved, and found by the City of Bandon to comply with the siting and viewscape protection requirements of the CD-1 zone. The proposed exterior access walkways, decks, and ramps to serve the proposed new uses of the modular home will be reviewed by the City as part of the Conditional Use Permit, Plan Review, and Zoning Compliance processes, and will comply with any and all City siting requirements. All yard, setback, height, lot coverage, and other applicable dimensional requirements of the CD-1 zone have been, and will continue to be, complied with.

C. THAT THE SITE SIZE AND DIMENSIONS PROVIDE ADEQUATE AREA FOR THE NEEDS OF THE PROPOSED USE:

This request is for a major modification of the existing Conditional Use Permit for the Best Western Inn at Face Rock, to include changing the use an existing modular home from residential to commercial by converting it into a laundry/storage/break room and 2 additional guest rooms; converting an existing storage room in the motel into an ADA accessible guest room; converting the existing restaurant into 4 new guest rooms (which includes an additional ADA accessible guest room); incorporating an existing single-family residence into the motel as a large guest suite; and continuing to use of an existing clubhouse/multi-purpose building. These are all existing structures which were previously approved by the City of Bandon.

No expansion or additions to the existing buildings are being proposed, other than exterior access walkways, decks, and ramps to serve the proposed new uses of the modular home. There is adequate space for these building access improvements, all of which will be located and in compliance with the height, setback, and other requirements of the CD-1 zone and other City development regulations.

There are currently 75 guest rooms at the Best Western Inn at Face Rock, which will be increased to 83 rooms with the addition of the proposed 8 rooms (2 new rooms in the existing modular home, 1 new ADA accessible room in the converted motel storage room, 4 new rooms in the restaurant conversion including a new ADA accessible guest room, and converting the single-family house into 1 large guest suite). There are currently a total of 92 paved parking spaces, plus at least 16 gravel parking spaces adjacent to the clubhouse/multi-purpose building, plus at least 2 parking spaces at the single-family residence which will be converted to a large guest suite, for a total of 110 parking spaces. BMC Table 17.96.020 - PARKING REQUIREMENTS FOR SPECIFIC USES requires for a motel *“One space per guest room or suite plus one additional space for the owner or manager.”* The motel with 83 rooms would therefore require 84 parking spaces. The requirements for the 3,040 sq.ft. clubhouse/multi-purpose space are somewhat unclear in the Zoning Code, but the City’s 1993 approval for the existing clubhouse/multi-use building concluded that, *“The parking requirement for the Pro Shop is based upon restaurant requirements and is 1 space per 200 square feet, 16 spaces are required and are displayed on the plan.”* The existing 110 parking spaces would therefore be more than adequate to meet the expanded requirement for 100 parking spaces (84 for the motel +16 for the clubhouse/multi-purpose building). Note also that the 4 parking spaces required for the 4 new rooms in the restaurant conversion have been included in this calculation. This is significantly less than the 8-9 spaces required by the Bandon Municipal Code 17.96.020.F.5. *“Eating or drinking establishment - One space per two hundred (200) square feet of floor area”* for the 1,602 sq.ft. of restaurant space, which means that the restaurant conversion actually reduces the parking demand by 4-5 spaces.

D. THAT THE SITE SIZE AND DIMENSIONS PROVIDE ADEQUATE AREA FOR AESTHETIC DESIGN TREATMENT TO MITIGATE POSSIBLE ADVERSE EFFECT FROM THE USE OF SURROUNDING PROPERTIES AND USES:

As shown in the photographs and video included with this application, the Best Western Inn at Face Rock is an aesthetically pleasing asset to the surrounding properties and uses, and has no adverse effect on the neighbors. The buildings, landscaping, and all facilities have been, and will continue to be, maintained in an excellent condition. Other than the previously noted walkways, decks, and ramps to provide access to the remodeled modular home, no additions or other major changes to the exterior of the existing building are being proposed. The motel owners, management, and staff are fully aware of all existing and potential uses that would be allowed on the adjacent CD-1 and NR zoned properties. Although it is not envisioned that any aesthetic design treatments would be required, there are adequate site size and dimensions to accommodate any conceivable improvements, screening, landscaping, or other mitigating measures as may be required by the City as a condition of approving the requested Conditional Use Permit.

The existing modular home and single-family residence are currently vacant. The modular home had previously served as the residence of the former owner/operators of the golf course that had been located on the property immediately south of the motel. The single-

family residence had previously served as the residence of the former owner/operator of the Best Western Inn at Face Rock. The existing restaurant has been closed for several years. The current owners of the motel have determined that it would be more appropriate to convert the building into 4 new guest rooms, to include a new ADA accessible guest room, as opposed to re-opening the restaurant. Re-purposing these structures for guest rooms and accessory motel uses will effectively incorporate them into the motel, and will ensure that it will continue to be maintained at the same high quality standards as the rest of the Best Western Inn at Face Rock, and as required for all motels in the Best Western chain.

E. THE CHARACTERISTICS OF THE SITE ARE SUITABLE FOR THE PROPOSED USE CONSIDERING SIZE, SHAPE, LOCATION, TOPOGRAPHY AND NATURAL FEATURES:

The Best Western Inn at Face Rock property has successfully functioned as a motel site for 40 years. The clubhouse/multi-purpose facility has been operated in that capacity for 27 years. The characteristics of the site have therefore proven suitable for these uses for many years. No alterations to the size, shape, location, topography, or natural features of the site are being proposed.

F. ALL REQUIRED PUBLIC FACILITIES AND SERVICES HAVE ADEQUATE CAPACITY TO SERVE THE PROPOSAL, AND ARE AVAILABLE OR CAN BE MADE AVAILABLE BY THE APPLICANT:

The water, sewer, electric, police, fire protection, and other public facilities and services have been sufficient to accommodate the existing uses for many years. Actually, in addition to the motel uses, the restaurant which was formerly operated on the site, placed an even greater demand on the public utility systems than the proposed conversion to 4 guest rooms. The existing public facilities and services have more than sufficient capacity to serve the additional guest rooms, the continued operation of the existing motel, and the continued operation of the clubhouse/multi-purpose building.

G. THE PROPOSED USE WILL NOT ALTER THE CHARACTER OF THE SURROUNDING AREA IN A MANNER WHICH SUBSTANTIALLY LIMITS, IMPAIRS, OR PRECLUDES THE USE OF SURROUNDING PROPERTIES FOR THE PERMITTED USES LISTED IN THE UNDERLYING ZONING DISTRICT:

Approving the requested major modification to the existing Conditional Use Permit will incorporate all properties owned by the Best Western Inn at Face Rock into the motel project site, change the existing modular home from its former residential use to motel uses, change the existing single-family residence into a motel facility, eliminate the existing restaurant by converting it into 4 guest rooms, and allow the continued operation of the clubhouse/multi-purpose building as an accessory use for the motel. This will effectively consolidate all of these uses into the Best Western Inn at Face Rock operation, and will allow an expansion of the motel facility in a manner which does not necessitate the

physical expansion of the facility into the surrounding residential and natural resource area in the CD-1 and NR zoned properties. Approval will ensure that all of these buildings, grounds, landscaping, and facilities will continue to be maintained at the same high standards as the Best Western Inn at Face Rock, which has proven to be an asset to the City of Bandon, its economy, and the values of surrounding properties.

The estimated average motor vehicle “trips per day” impacts of the proposed improvements and conversions on vehicular traffic have been calculated, based on the average weekday trip generation rates from the Institute of Transportation Engineers (ITE) Manual, 7th Edition. The 2 new motel guest rooms in the modular home will together generate an average combined total of approximately 11.26 trips per day, which is 1.69 more than the average 9.57 trips per day generated during its prior use as a single-family residence. The new ADA accessible guest room will generate an average of approximately 5.63 trips per day, which is 5.63 more than the 0 trips per day generated by its prior use as a storage room. The new large guest suite will generate an average of approximately 5.63 trips per day, which is 3.94 less than the average 9.57 trips per day generated during its prior use as a single-family residence. The 4 new motel guest rooms in the restaurant conversion will generate an average combined total of approximately 22.52 trips per day, which is 181.17 less than the 203.69 trips per day which would be generated by re-opening the 1,602 sq.ft. restaurant. The continued use of the existing Clubhouse/Multi-Purpose room will generate the same number of vehicle trips per day as previously generated, which will mean the same traffic impact on surrounding properties and uses.

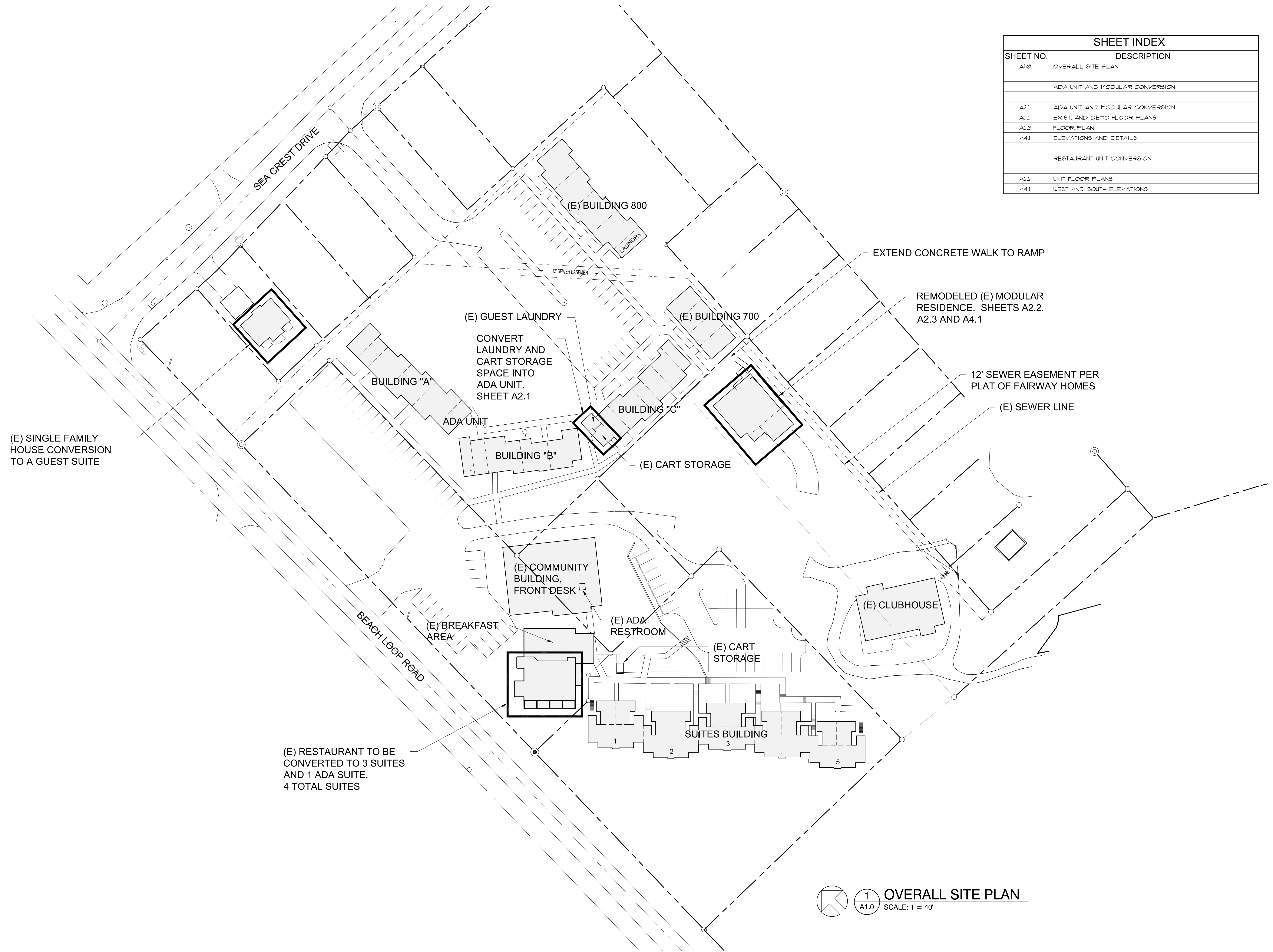
In summary, the proposed uses will reduce the average weekday traffic generation by an estimated 177.79 trips per day, compared to the prior uses. These improvements will therefore actually lessen the traffic impacts on *“the use of the surrounding properties for the permitted uses listed in the underlying zoning district.”*

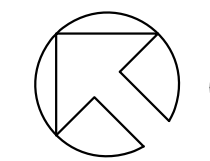
Nothing in this proposal will alter the character of the surrounding area, nor will it substantially limit, impair, or preclude the use of surrounding properties for the permitted uses in the underlying zoning district.

H. ALL OTHER REQUIREMENTS OF THIS TITLE THAT APPLY:

The proposed improvements to the Best Western Inn at Face Rock will be done in full compliance with all applicable City regulations, and in compliance with any and all conditions which may be imposed by the City of Bandon and the Planning Commission through their approval of the requested Conditional Use Permit modification.

SHEET INDEX	
SHEET NO.	DESCRIPTION
A1.0	OVERALL SITE PLAN
	ADA UNIT AND MODULAR CONVERSION
A2.1	ADA UNIT AND MODULAR CONVERSION
A2.21	EXIST. AND DEMO FLOOR PLANS
A2.3	FLOOR PLAN
A4.1	ELEVATIONS AND DETAILS
	RESTAURANT UNIT CONVERSION
A2.2	UNIT FLOOR PLANS
A4.1	WEST AND SOUTH ELEVATIONS



 **1** OVERALL SITE PLAN
A1.0 SCALE: 1"= 40'

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT NO.: 18.33
INN AT FACE ROCK - BEST WESTERN MOTEL
ADA UNIT & MODULAR BUILDING CONVERSION
3225 BEACH LOOP ROAD
BANDON, OREGON

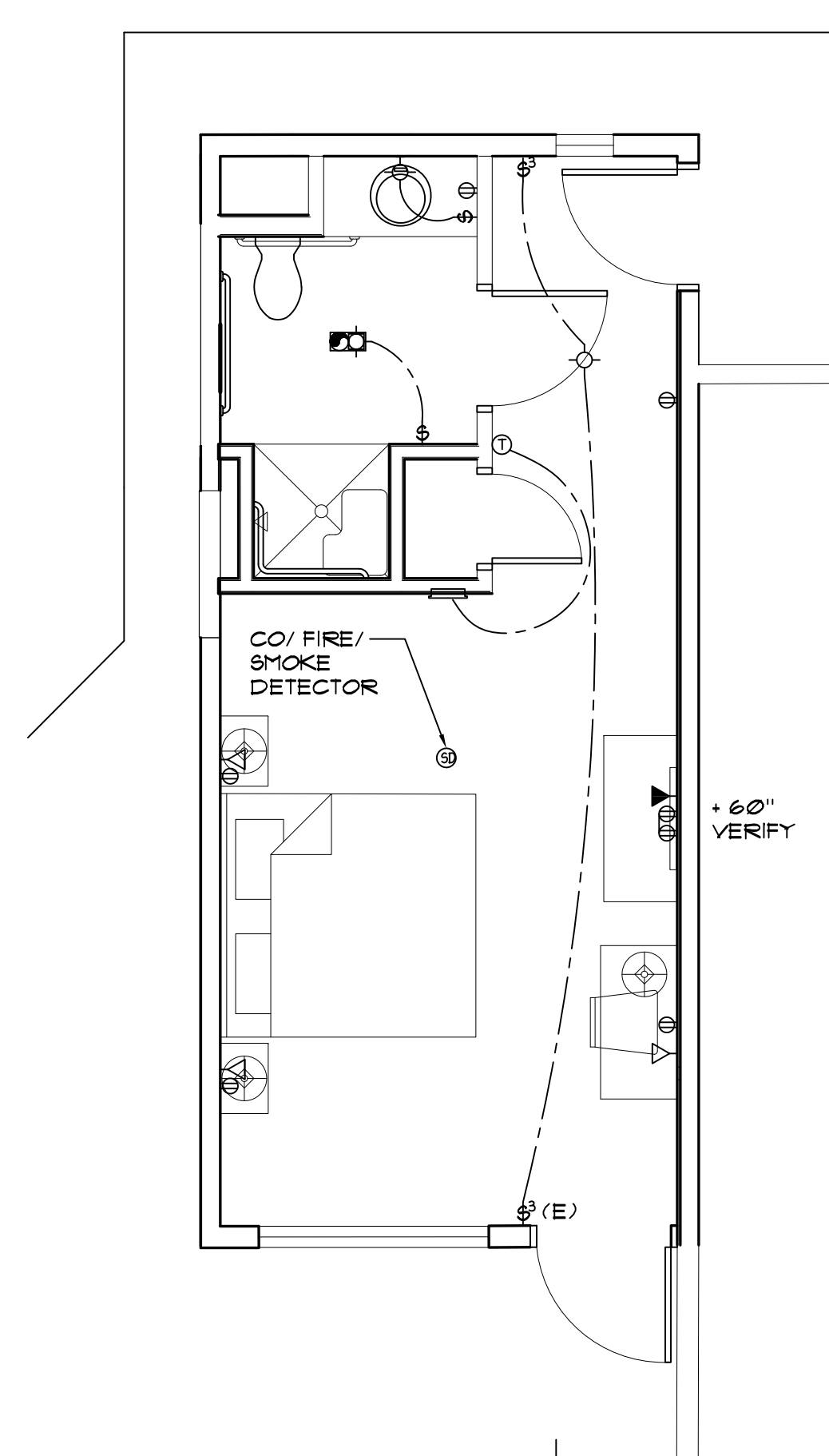
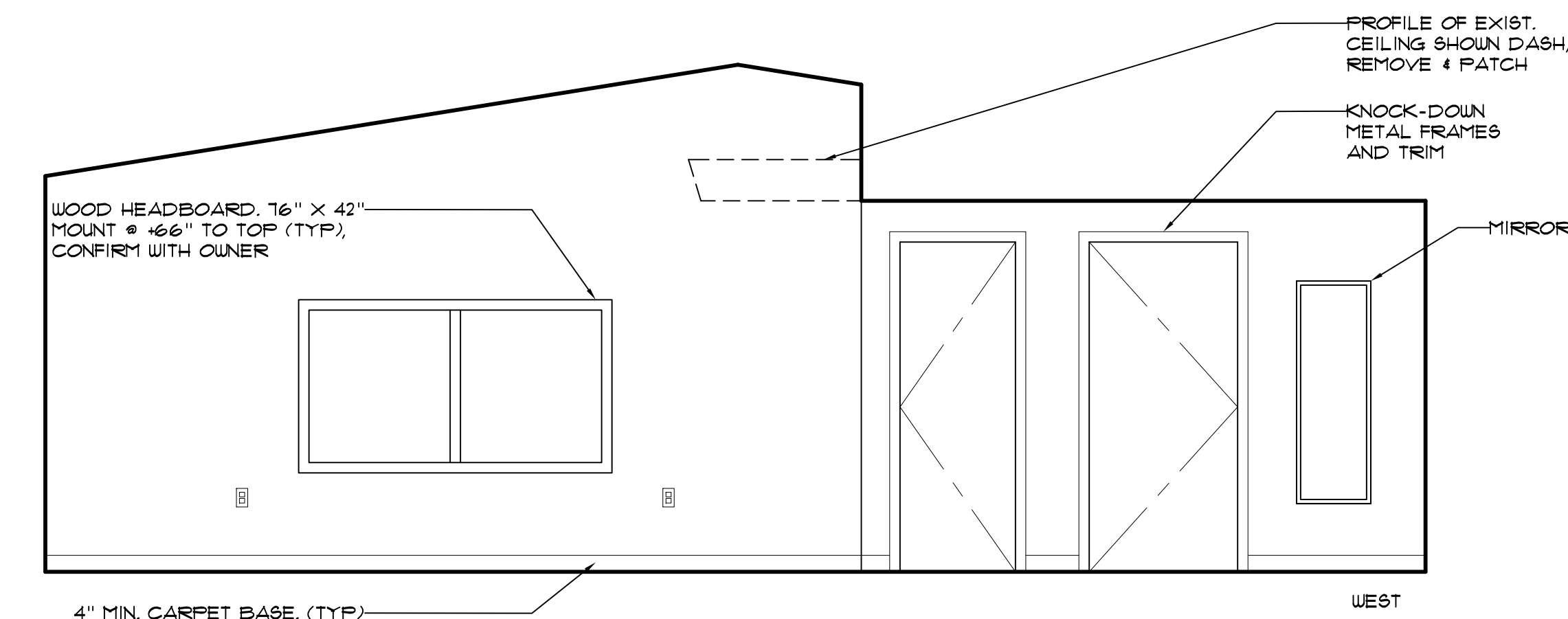
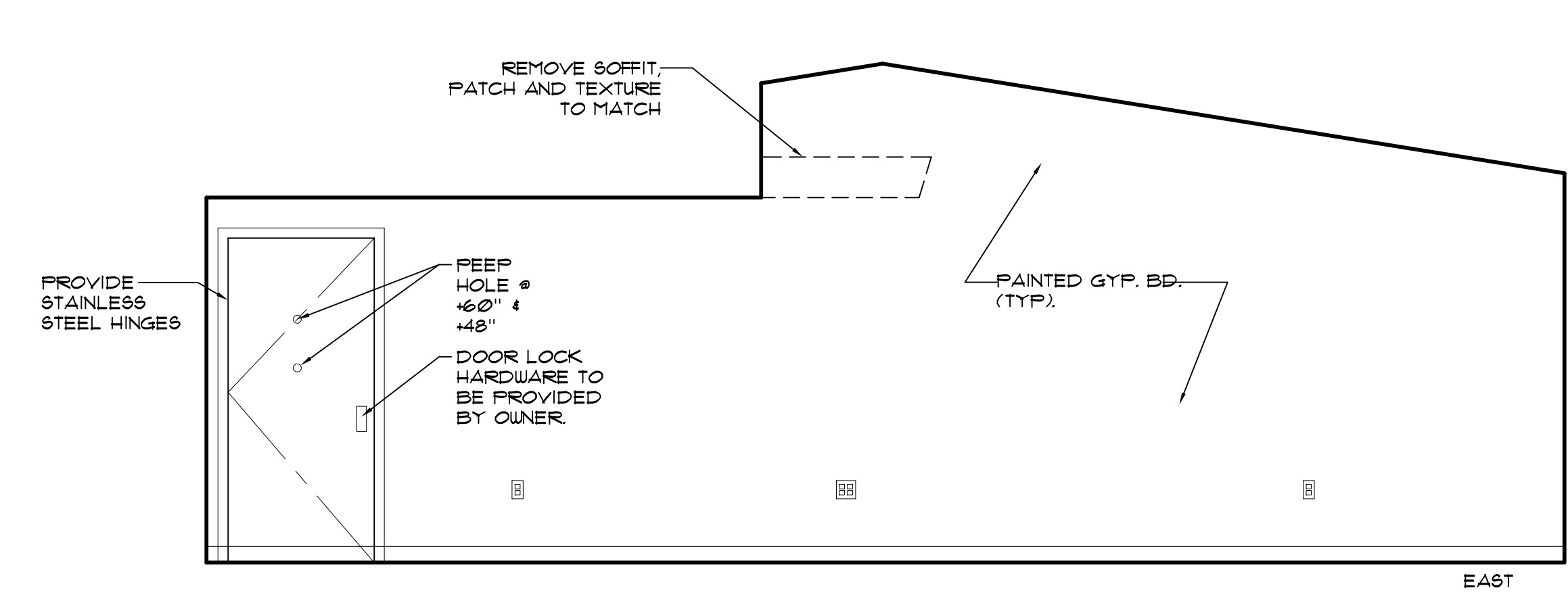
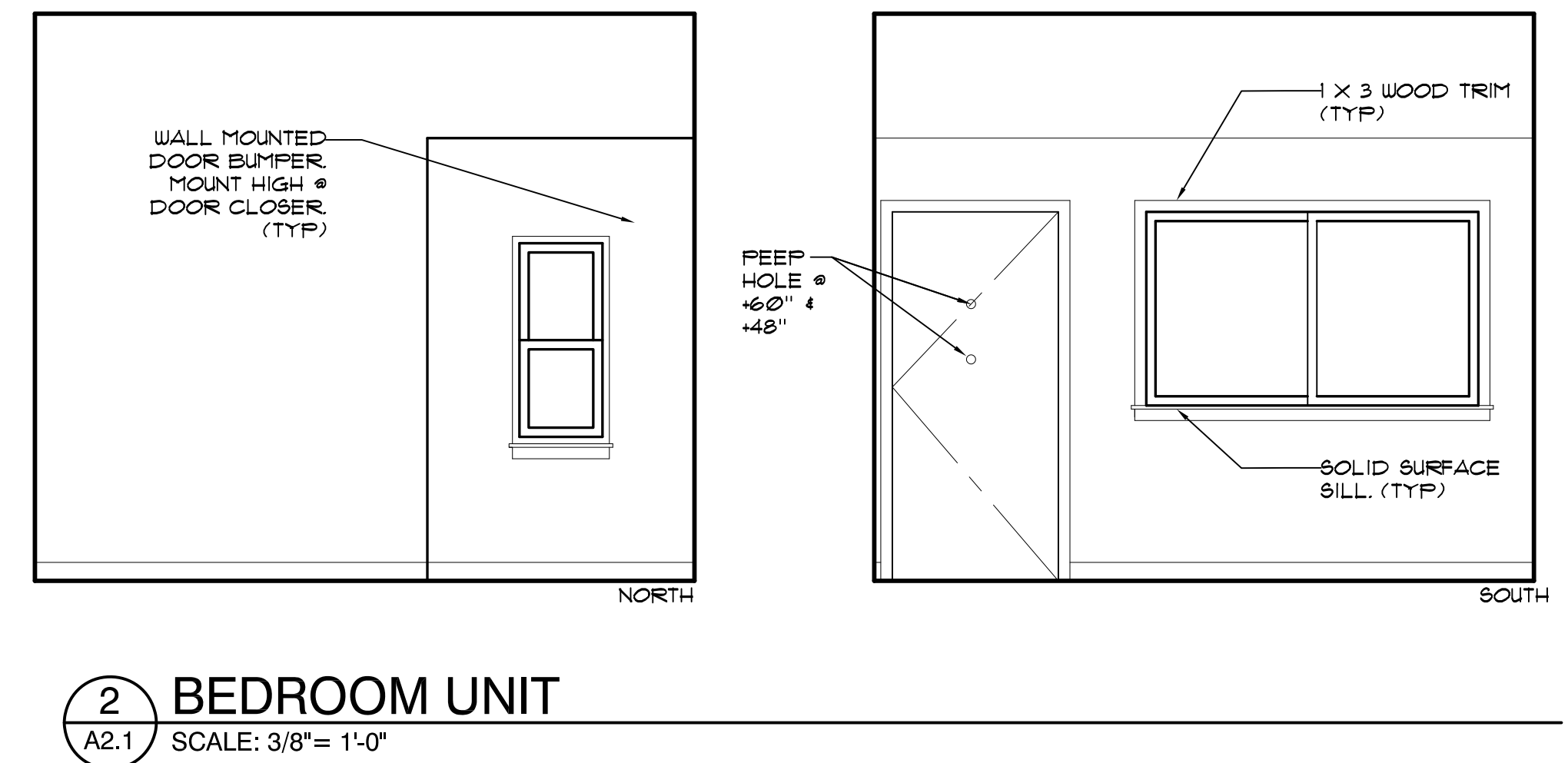
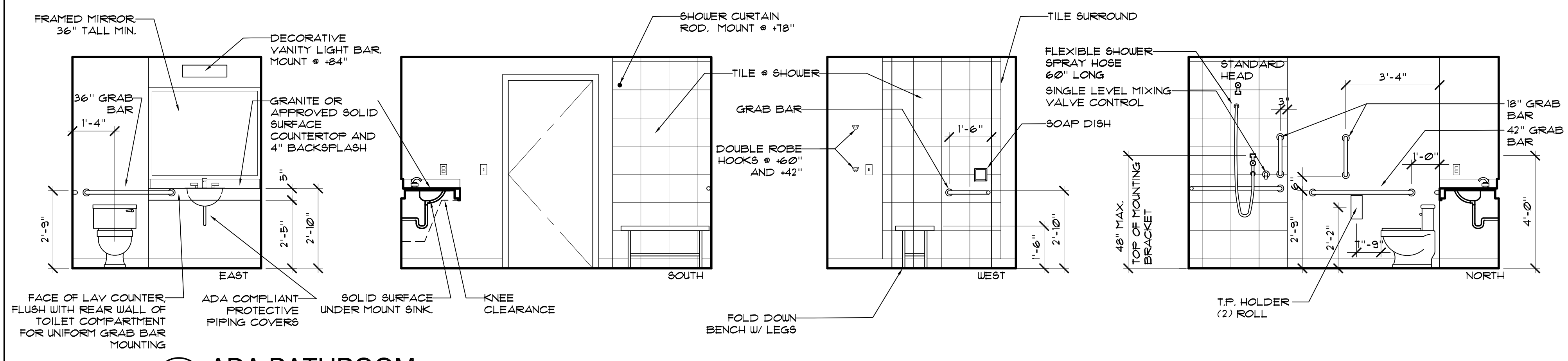
PRELIMINARY DESIGN

REVISIONS:

#	DATE	DESCRIPTION

DATE:
SHEET TITLE:
ADA UNIT

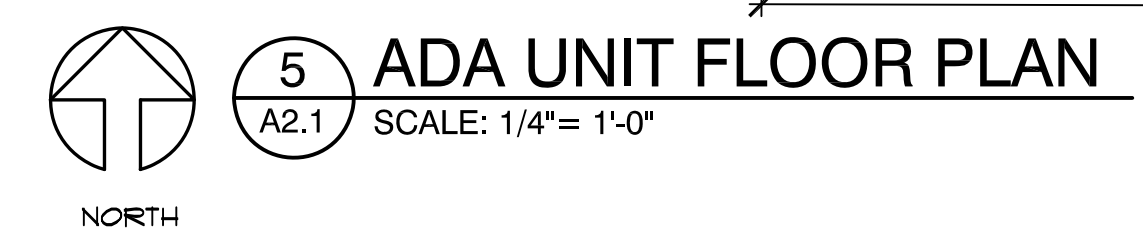
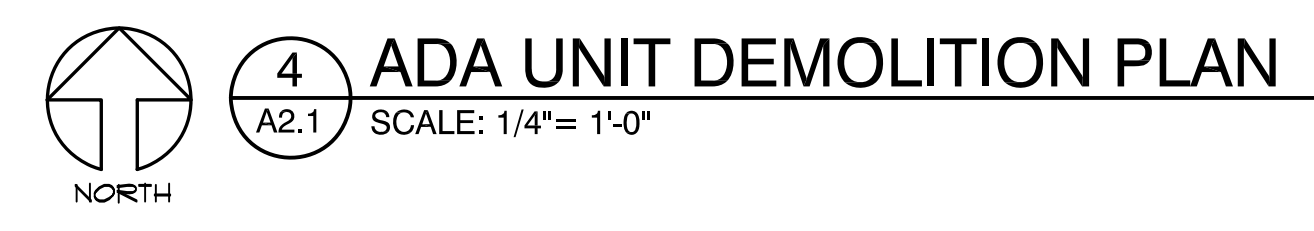
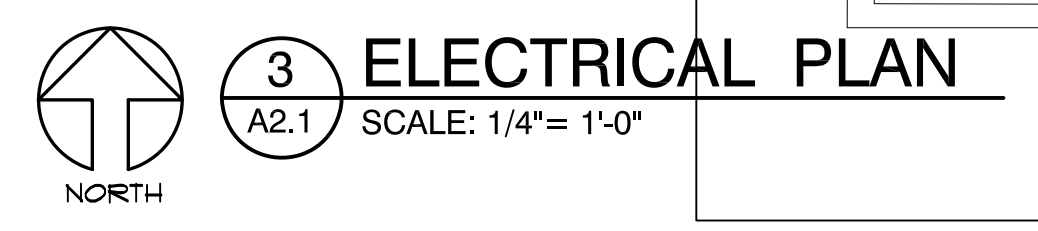
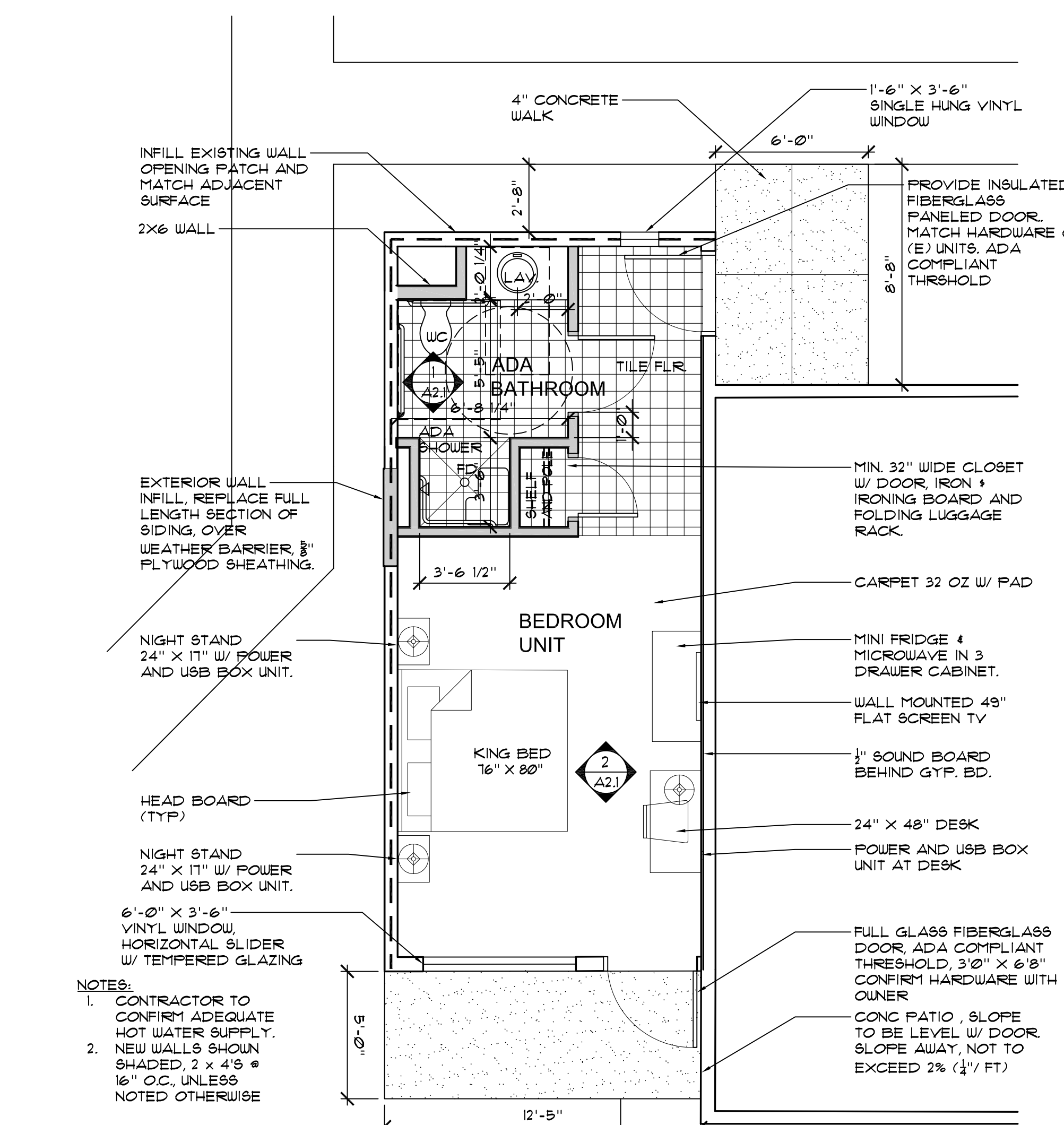
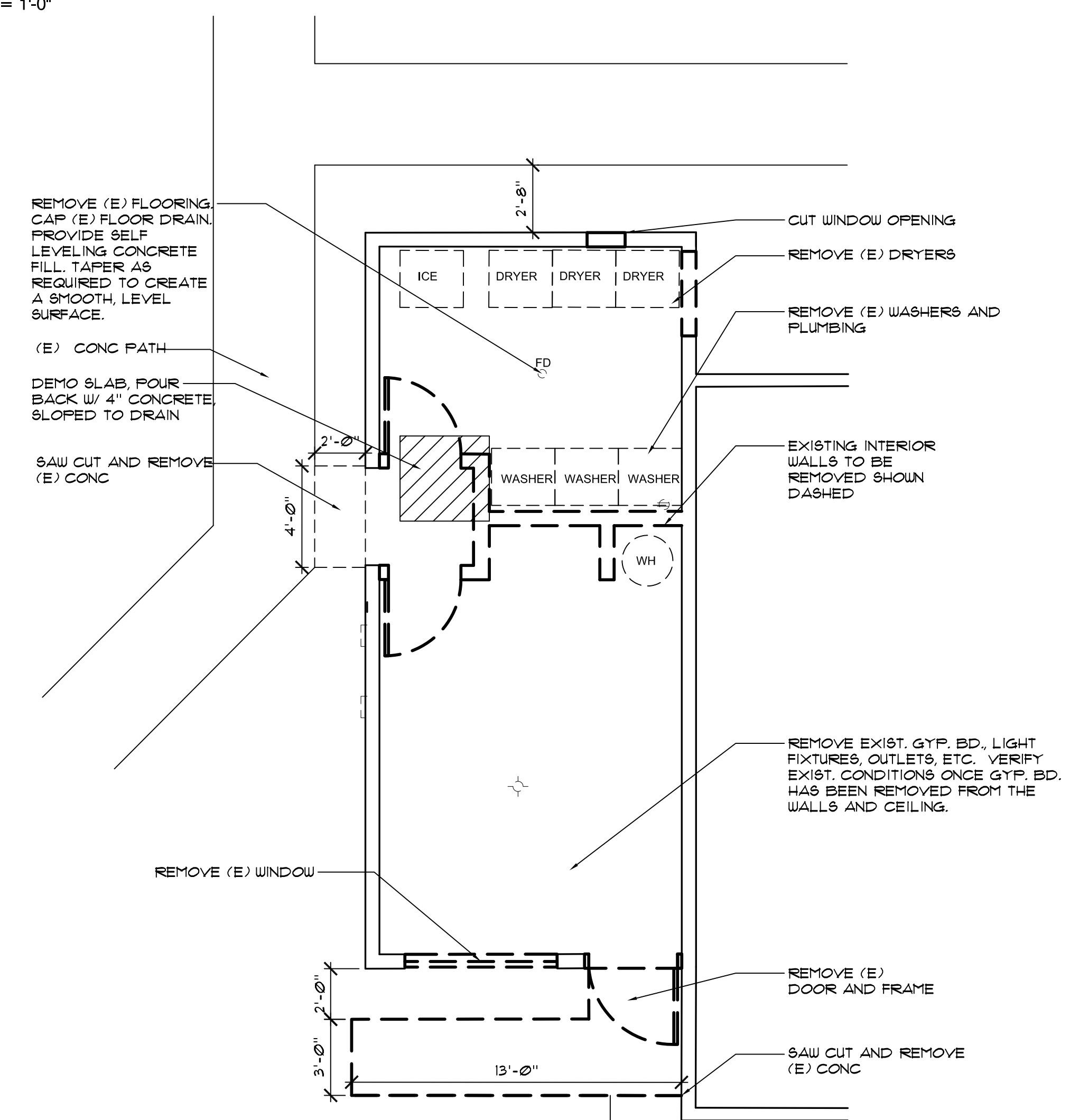
A2.1



ELECTRICAL LAYOUT LEGEND

◀	TELEPHONE / DATA OUTLET
◀	CABLE OUTLET
⊕	DUPLEX RECEPTACLE
⊕	220 V. RECEPTACLE
⊕	SWITCH
⊕	3-WAY SWITCH
⊕	4-WAY SWITCH
⊕	FAN / LIGHT UNIT / HEATER
⊕	FAN UNIT
⊕	SMOKE DETECTOR
⊕	WALL HEATER 1000 WATT
⊕	LIGHT (OVERHEAD)
⊕	LIGHT (WALL HUNG)
⊕	THERMOSTAT, DIGITAL, MATCH (E)

NOTES:
1. PROVIDE WHITE DECORA SWITCHES AND WHITE COVER PLATES/ RECEPTABLES.



PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT NO.: 18.33
INN AT FACE ROCK - BEST WESTERN MOTEL
ADA UNIT & MODULAR BUILDING CONVERSION
3225 BEACH LOOP ROAD
BANDON, OREGON

PRELIMINARY DESIGN

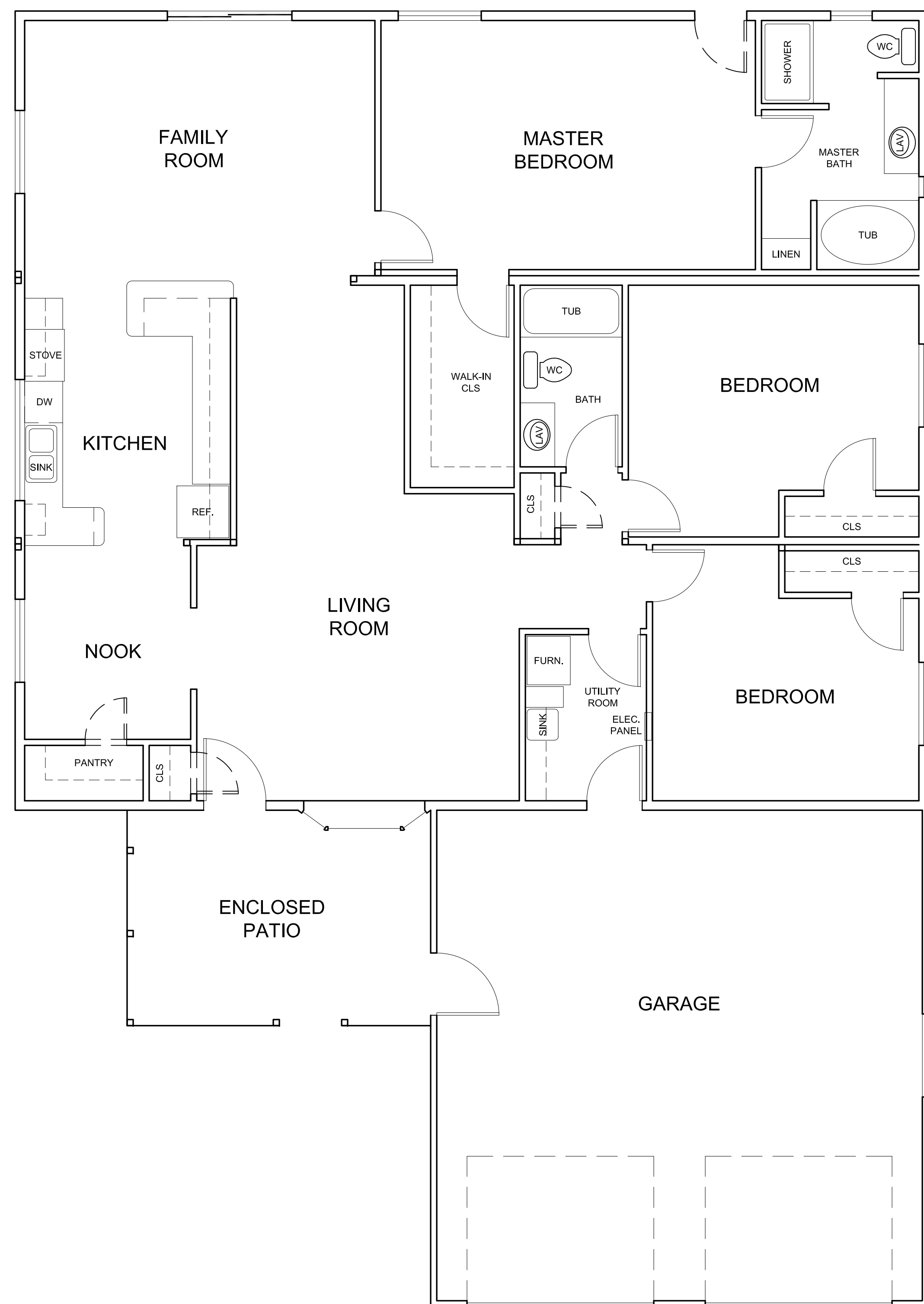
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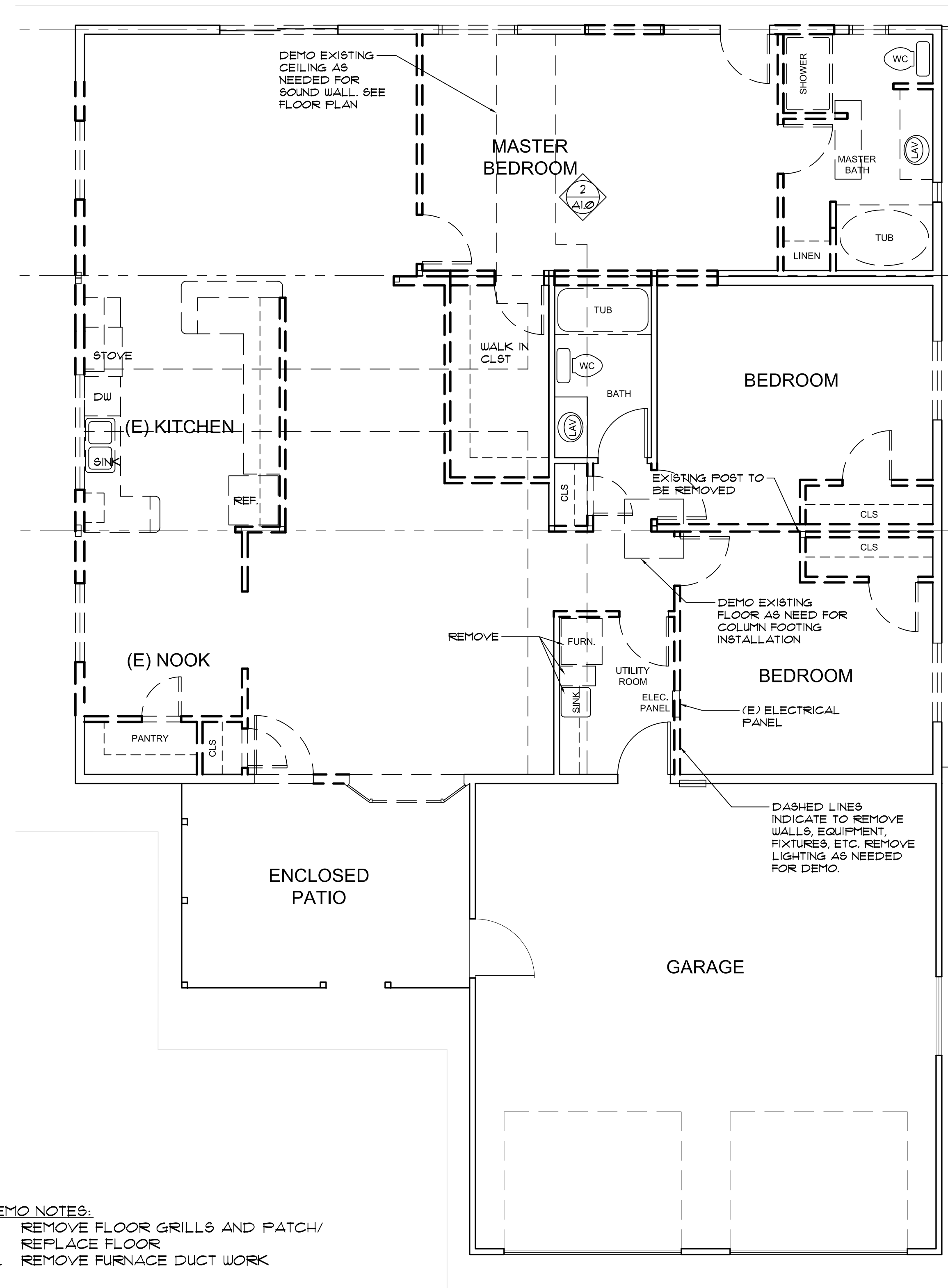
SHEET TITLE:
**EXISTING & DEMO
FLOOR PLANS**

A2.2

Copyright © 2021
HGE ARCHITECTS, INC.



2 MODULAR HOUSE - EXISTING FLOOR PLAN
A2.2 SCALE: 1/4"= 1'-0"
NORTH



- DEMO NOTES:**
1. REMOVE FLOOR GRILLS AND PATCH/
REPLACE FLOOR
 2. REMOVE FURNACE DUCT WORK

1 MODULAR HOUSE - DEMO FLOOR PLAN
A2.2 SCALE: 1/4"= 1'-0"
NORTH

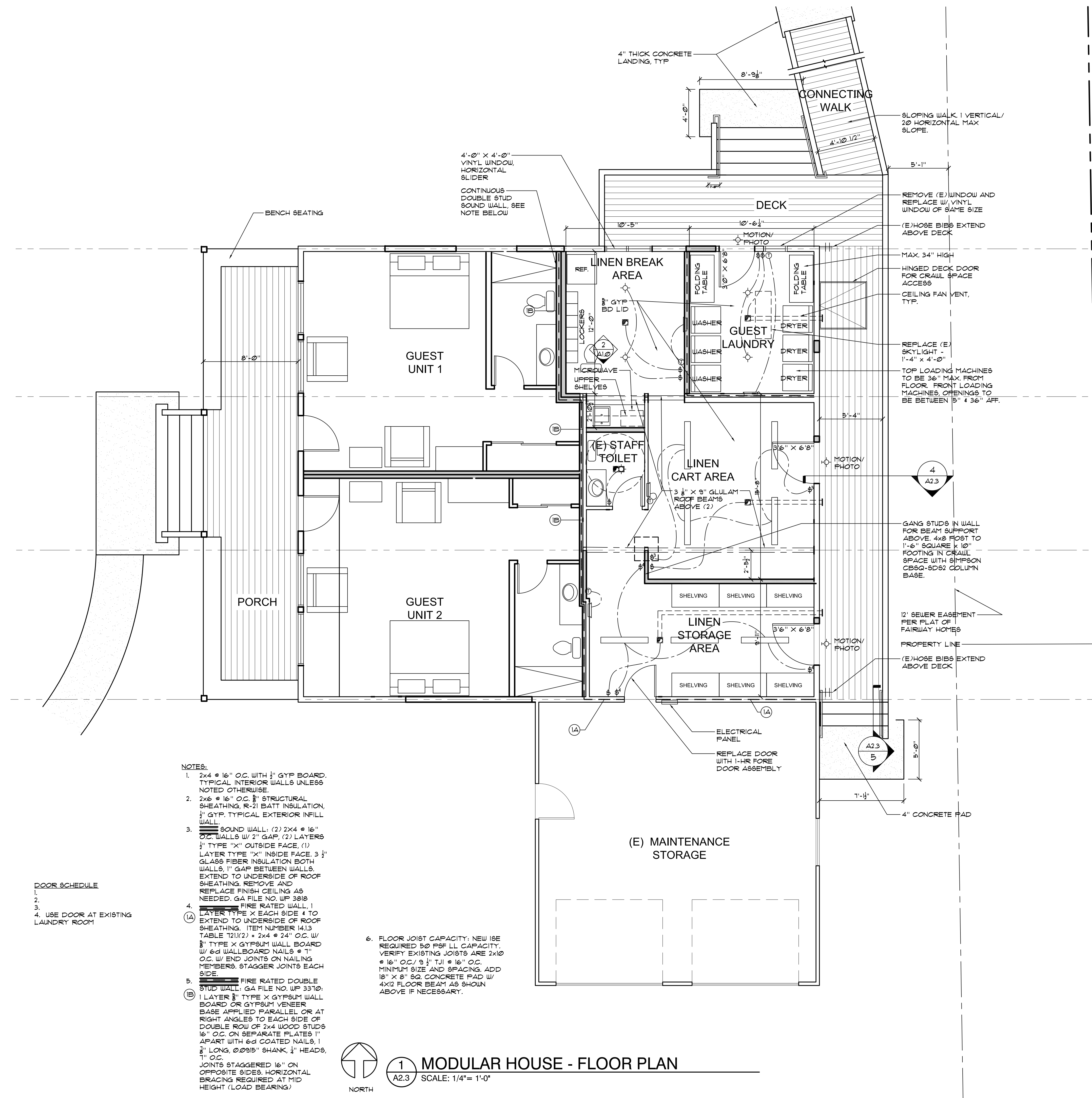
PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT NO.: 18.33
INN AT FACE ROCK - BEST WESTERN MOTEL
ADA UNIT & MODULAR BUILDING CONVERSION
3225 BEACH LOOP ROAD
BANDON, OREGON

PRELIMINARY DESIGN
REVISIONS:
DATE DESCRIPTION

DATE: --- ---
SHEET TITLE:
FLOOR PLAN

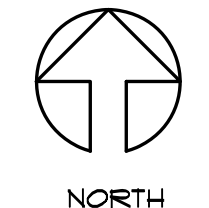
A2.3



ELECTRICAL LAYOUT LEGEND	
◁	TELEPHONE / DATA OUTLET
◀	CABLE OUTLET
⊕	DUPLEX RECEPTACLE
⊖	220 V. RECEPTACLE
⊞	SWITCH
⊞	3-WAY SWITCH
⊞	4-WAY SWITCH
⊞	FAN / LIGHT UNIT / HEATER
⊞	FAN UNIT, NUTONE QT XEN 150, 6" DUCT, 150 CFM. EXTEND TO OUTSIDE WALL OR ROOF W/ WEATHER CAP AND DAMPER
⊞	SMOKE DETECTOR
⊞	WALL HEATER, 1000 WATT
⊞	LIGHT (OVERHEAD)
⊞	LIGHT (WALL HUNG)
⊞	LIGHT (4'-0" OVERHEAD LED)
⊞	THERMOSTAT, DIGITAL, MATCH (E)

DOOR SCHEDULE
1.
2.
4. USE DOOR AT EXISTING LAUNDRY ROOM

- NOTES:**
- 2x4 @ 16" O.C. WITH 1/2" GYP BOARD. TYPICAL INTERIOR WALLS UNLESS NOTED OTHERWISE.
 - 2x6 @ 16" O.C. 3/4" STRUCTURAL SHEATHING, R-21 BATT INSULATION, 1/2" GYP. TYPICAL EXTERIOR INFILL WALL.
 - SOUND WALL: (2) 2x4 @ 16" O.C. WALLS W/ 2" GAP. (2) LAYERS 1/2" TYPE "X" OUTSIDE FACE, (1) LAYER TYPE "X" INSIDE FACE, 3 1/2" GLASS FIBER INSULATION BOTH WALLS, 1" GAP BETWEEN WALLS. EXTEND TO UNDERSIDE OF ROOF SHEATHING. REMOVE AND REPLACE FINISH CEILING AS NEEDED. GA FILE NO. WP 3318.
 - FIRE RATED WALL, 1 LAYER TYPE X EACH SIDE 4 TO EXTEND TO UNDERSIDE OF ROOF SHEATHING. ITEM NUMBER 1413 TABLE T21(2) = 2x4 @ 24" O.C. W/ 3/4" TYPE X GYPSUM WALL BOARD W/ 6d WALL BOARD NAILS @ 11" O.C. W/ END JOINTS ON NAILING MEMBERS. STAGGER JOINTS EACH SIDE.
 - FIRE RATED DOUBLE STUD WALL. GA FILE NO. WP 3370: 1 LAYER 3/4" TYPE X GYPSUM WALL BOARD OR GYPSUM VENEER. BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF DOUBLE ROW OF 2x4 WOOD STUDS 16" O.C. ON SEPARATE PLATES 1" APART WITH 6d COATED NAILS, 1 1/2" LONG, @ 24" SHANK, 1/2" HEADS, 1" O.C. JOINTS STAGGERED 16" ON OPPOSITE SIDES. HORIZONTAL BRACING REQUIRED AT MID HEIGHT (LOAD BEARING).
 - FLOOR JOIST CAPACITY: NEW IBE REQUIRED 50 PSF LL CAPACITY. VERIFY EXISTING JOISTS ARE 2x10 @ 16" O.C. / 3 1/2" TJI @ 16" O.C. MINIMUM SIZE AND SPACING. ADD 18" X 8" SQ. CONCRETE PAD W/ 4X12 FLOOR BEAM AS SHOWN ABOVE IF NECESSARY.



1 MODULAR HOUSE - FLOOR PLAN
A2.3 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT NO.: 18.33
INN AT FACE ROCK - BEST WESTERN MOTEL
ADA UNIT & MODULAR BUILDING CONVERSION
3225 BEACH LOOP ROAD
BANDON, OREGON

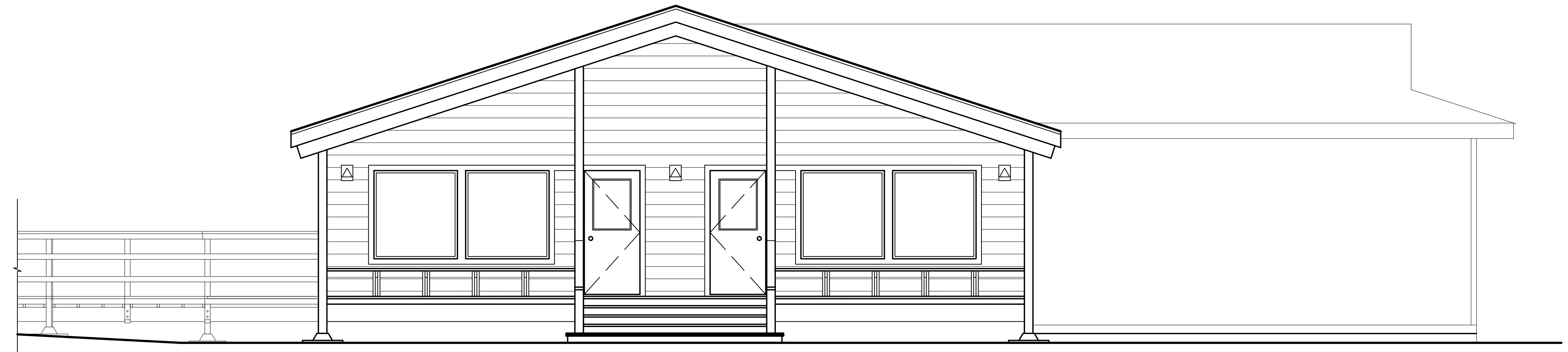
PRELIMINARY DESIGN

REVISIONS:
DATE DESCRIPTION

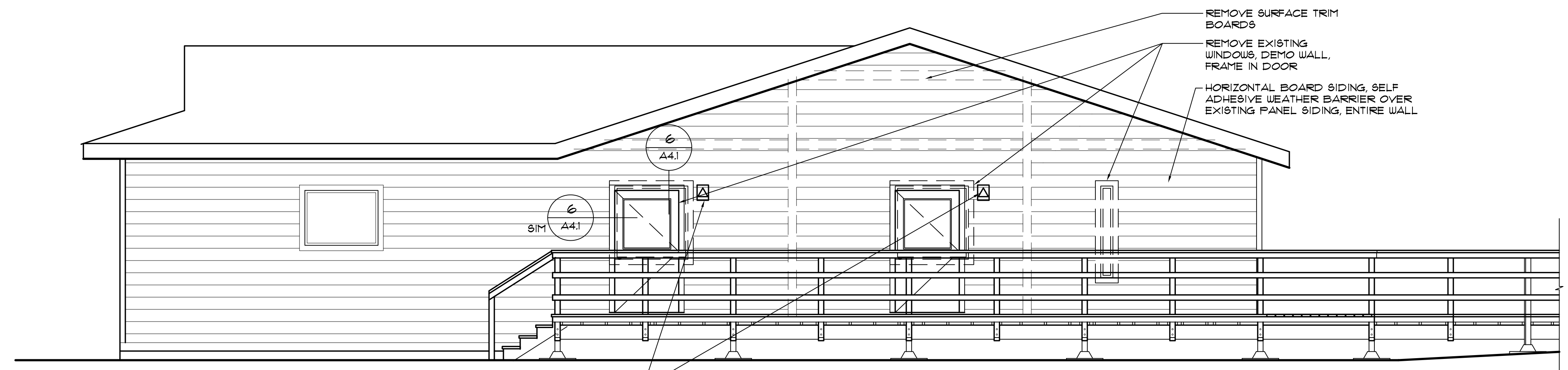
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SHEET TITLE:
ELEVATIONS & DETAILS

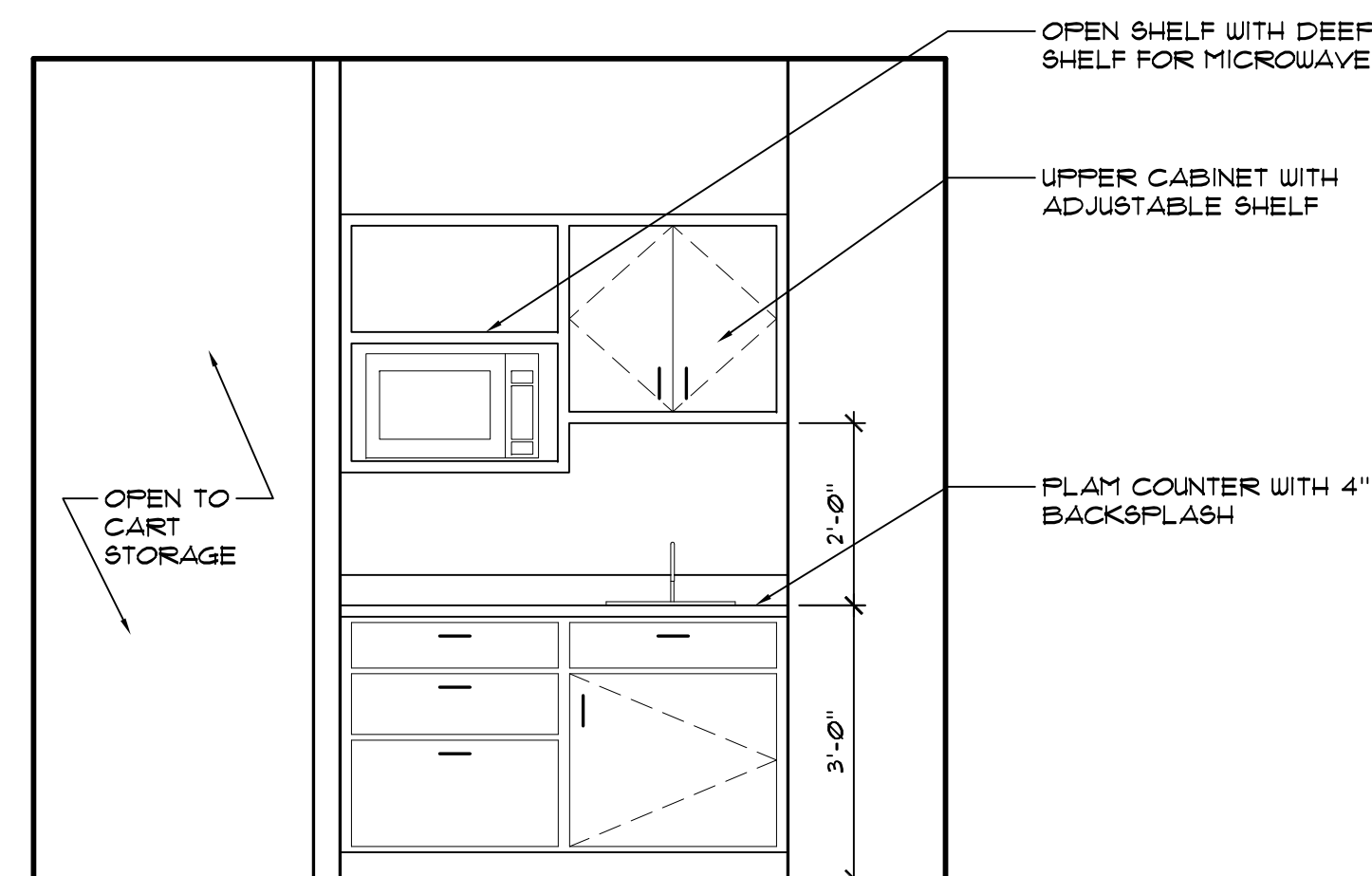
A4.1



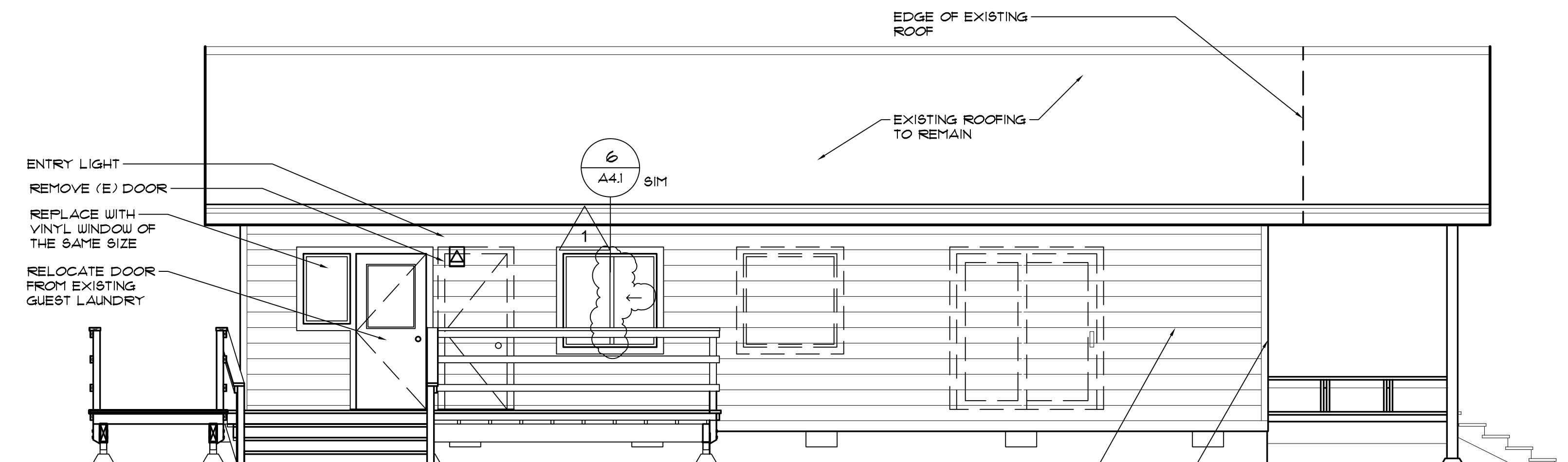
3 MODULAR HOUSE - WEST ELEVATION
A4.1 SCALE: 1/4" = 1'-0"



2 MODULAR HOUSE - EAST ELEVATION
A4.1 SCALE: 1/4" = 1'-0"



4 MODULAR HOUSE - BREAK ROOM ELEVATION
A4.1 SCALE: 1/2" = 1'-0"



1 MODULAR HOUSE - NORTH ELEVATION
A4.1 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR
CONSTRUCTION

RESTAURANT UNIT CONVERSIONS

PROJECT NO.: 19.31
INN AT FACE ROCK - BEST WESTERN MOTEL
RESTAURANT UNIT CONVERSION
3225 BEACH LOOP ROAD
BANDON, OR 97411

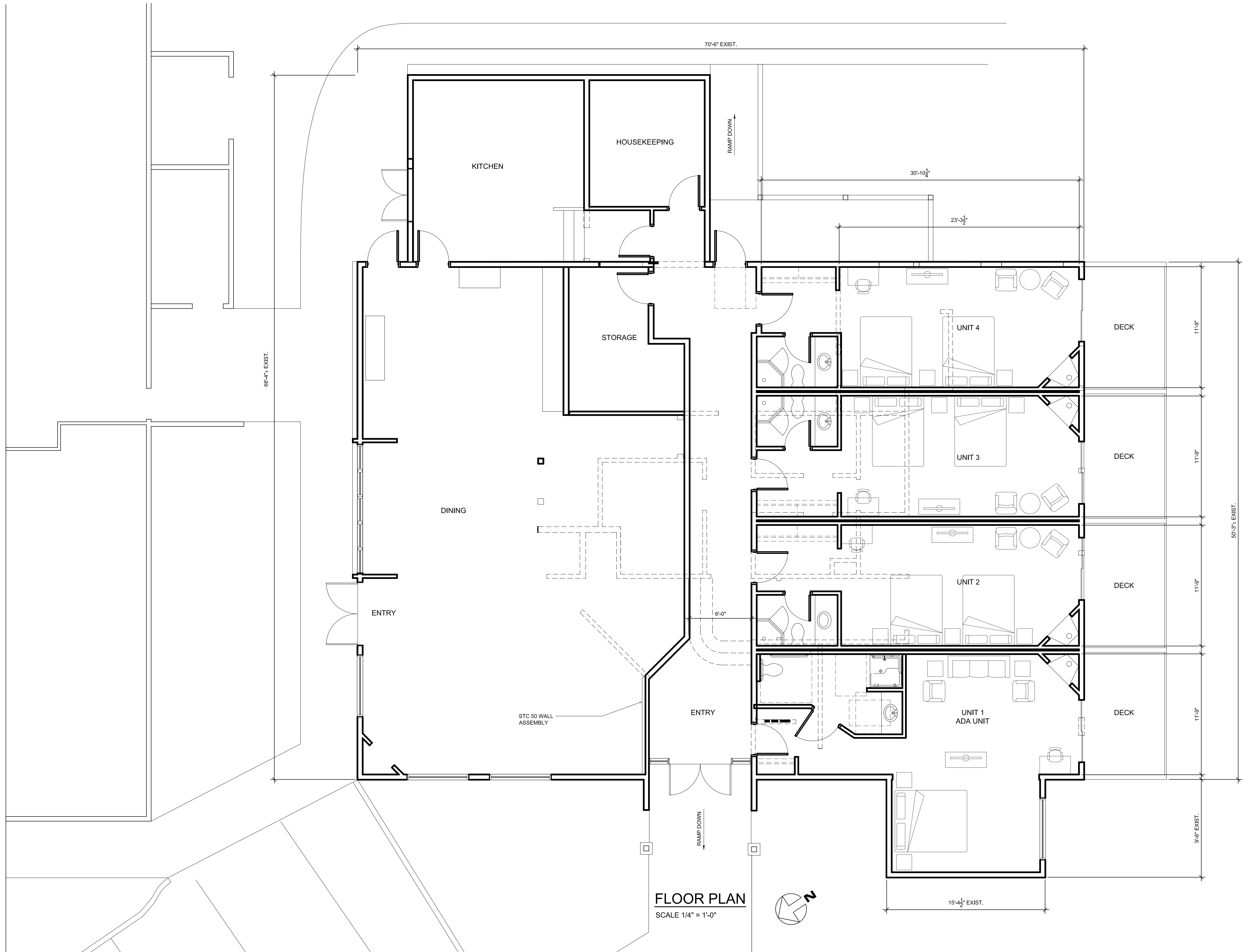
PRELIMINARY

REVISIONS:
DATE DESCRIPTION

DATE: MARCH 2021

SHEET TITLE:
UNIT FLOOR
PLANS

A2.2



PRELIMINARY
NOT FOR
CONSTRUCTION

RESTAURANT UNIT CONVERSIONS

PROJECT NO.: 19.31

INN AT FACE ROCK - BEST WESTERN MOTEL
RESTAURANT UNIT CONVERSION
3225 BEACH LOOP ROAD
BANDON, OR 97411

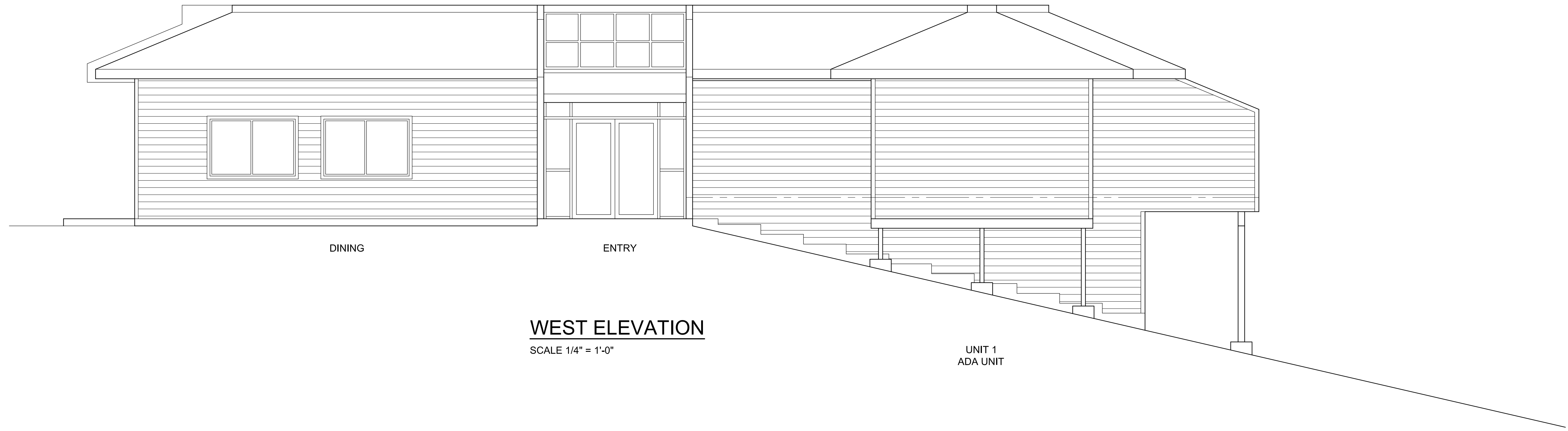
PRELIMINARY

REVISIONS:
DATE DESCRIPTION

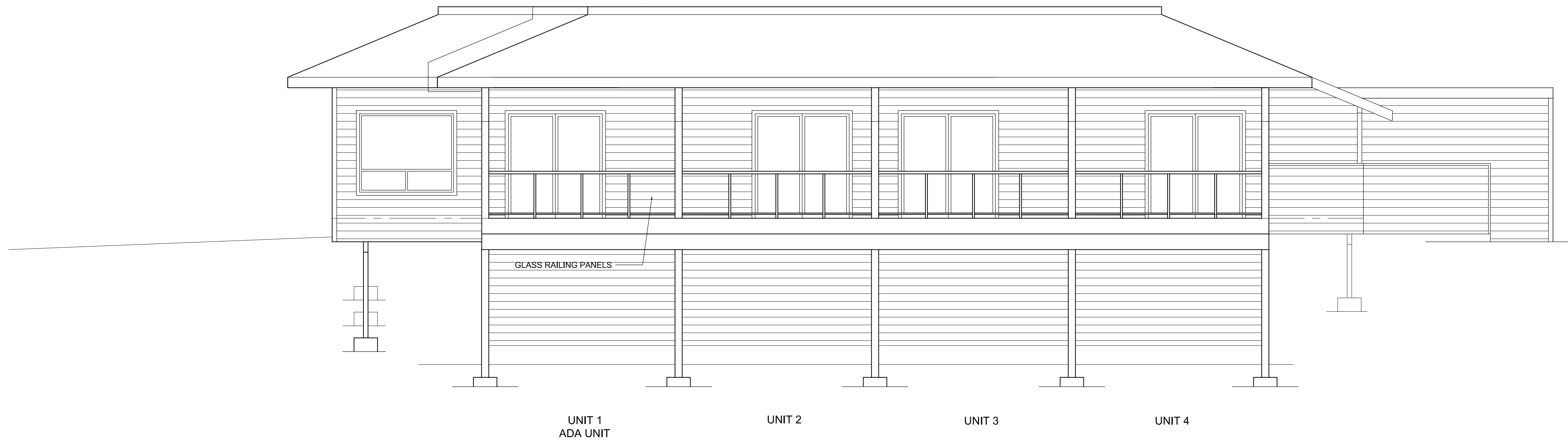
DATE: MARCH 2021

SHEET TITLE:
WEST AND SOUTH
ELEVATIONS

A4.1



WEST ELEVATION
SCALE 1/4" = 1'-0"



SOUTH ELEVATION
SCALE 1/4" = 1'-0"

Best Western Inn at Face Rock

PROPOSED IMPROVEMENTS

Legend

- Best Western Inn at Face Rock Property
- Clubhouse/Multi-Purpose Building
- Modular Home Remodel
- New ADA Accessible Unit
- Restaurant Conversion
- Single-Family Residence Conversion to Suite



Beach Loop Dr

Fairway Ct SW

Gretchens Ct

GOLF LINKS Rd



Assessment and Taxation

Account Query

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[Help](#)

[Coming Soon](#)

Account # 1233302 Tax Status ASSESSABLE
Map # 29S1501BA02300 Account Status ACTIVE
Code - Tax # 5400-1233302 Subtype NORMAL
Owner BEACH LOOP DRIVE LLC

Agent

Mailing Address PO BOX 5304
SANTA BARBARA, CA 93150-5304

Reports

[Summary Report](#)

[Ledger Report](#)

[Tax Summary Report](#)

Names

Improvements

Link	Site	Bldg #	Stat Class	Code Area	Year Built	Eff Year Built	Description	Livable Size
I	10	1	145	5400	1996	1996	Garage-Class 4	0
I	10	2	463	5400	1996	1996	MH REAL TRIPLE CLASS 6	1794
I		3	563	5400	1993		Entertainment - golf course/driving range	3040

Single-Family Detached Housing (210)

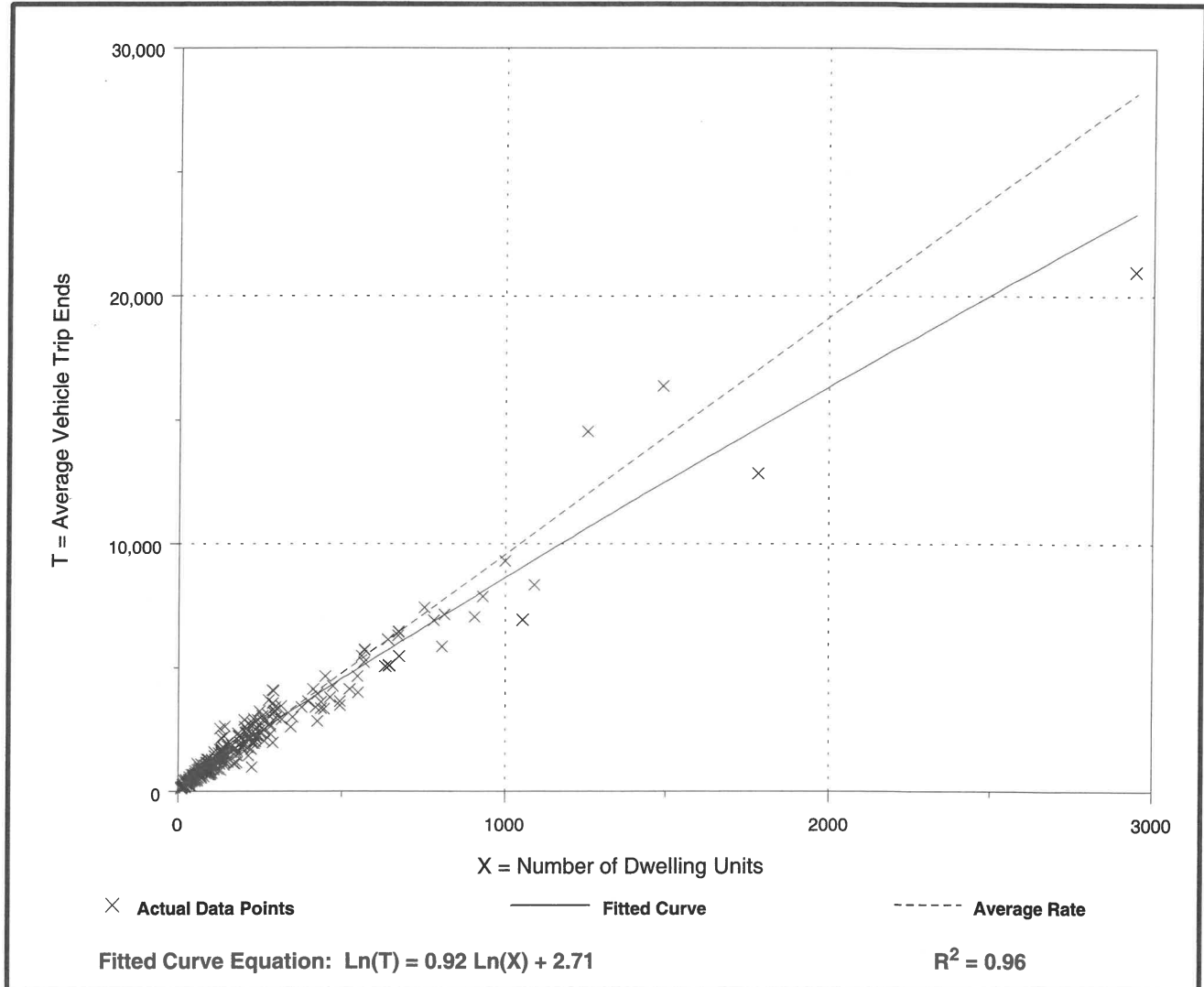
Average Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Number of Studies: 350
Avg. Number of Dwelling Units: 197
Directional Distribution: 50% entering, 50% exiting

Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
9.57	4.31 - 21.85	3.69

Data Plot and Equation



Motel (320)

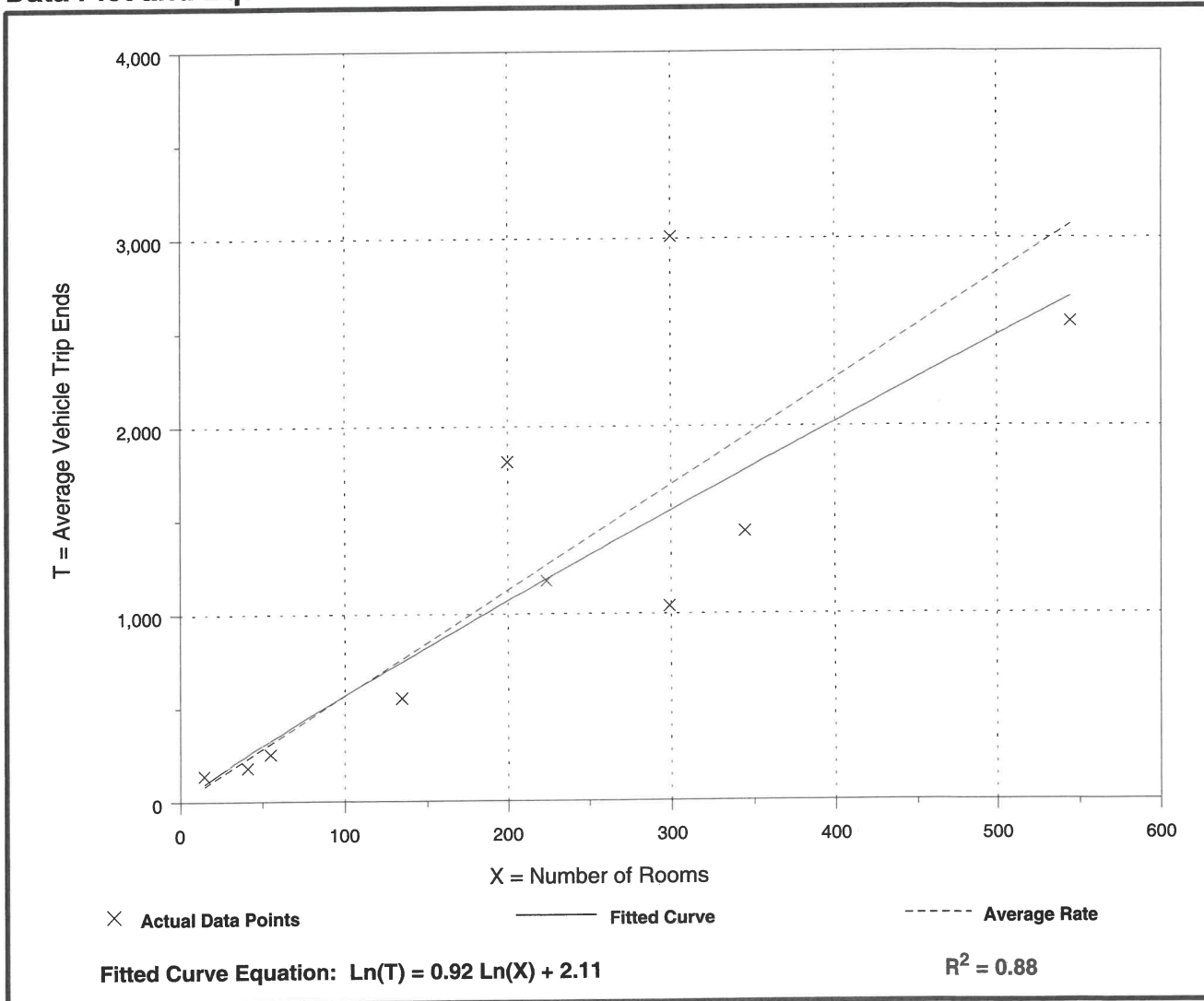
Average Vehicle Trip Ends vs: Rooms
On a: Weekday

Number of Studies: 10
Average Number of Rooms: 216
Directional Distribution: 50% entering, 50% exiting

Trip Generation per Room

Average Rate	Range of Rates	Standard Deviation
5.63	3.47 - 10.04	3.31

Data Plot and Equation



High-Turnover (Sit-Down) Restaurant (932)

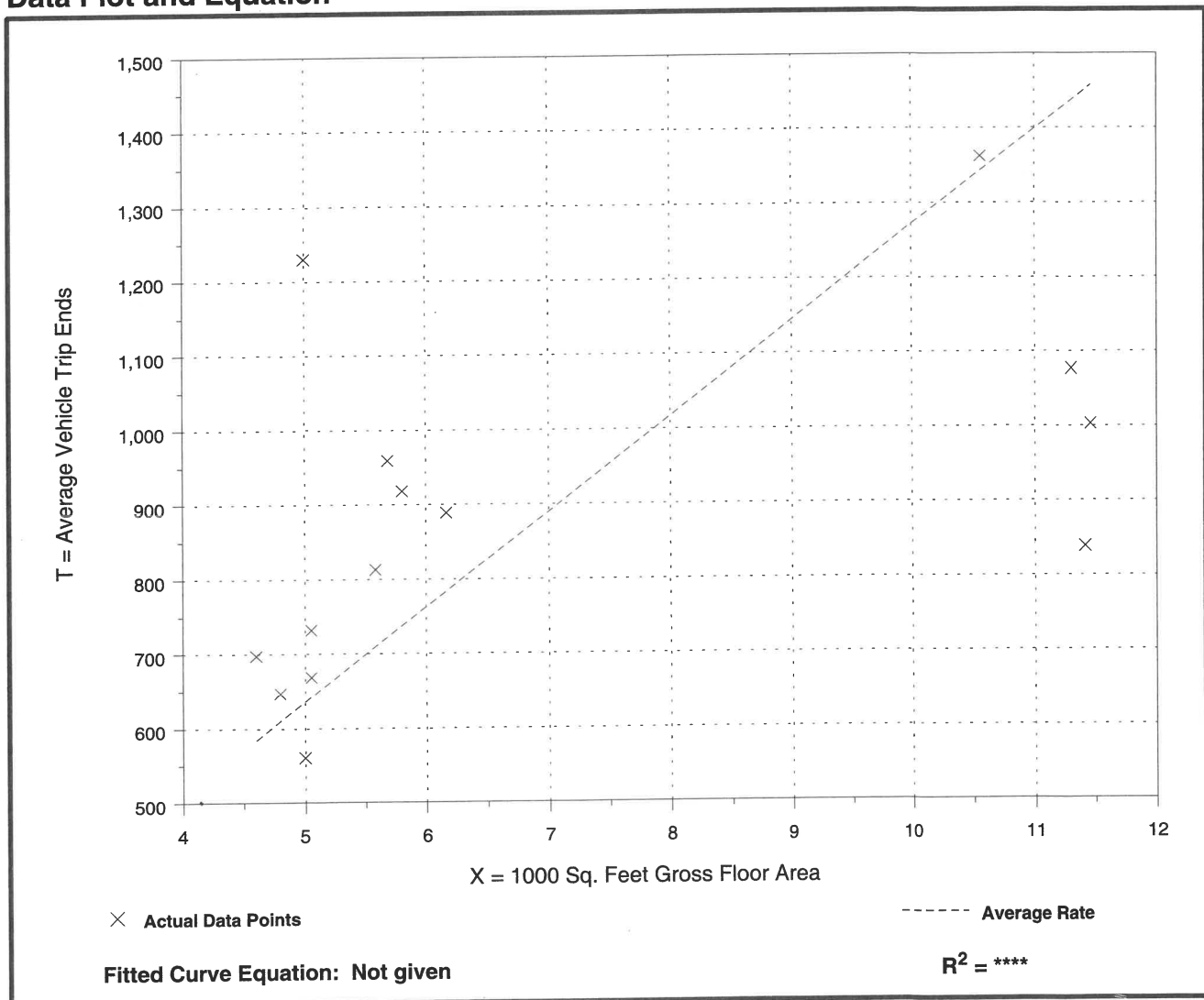
Average Vehicle Trip Ends vs: 1000 Sq. Feet Gross Floor Area
On a: Weekday

Number of Studies: 14
Average 1000 Sq. Feet GFA: 7
Directional Distribution: 50% entering, 50% exiting

Trip Generation per 1000 Sq. Feet Gross Floor Area

Average Rate	Range of Rates	Standard Deviation
127.15	73.51 - 246.00	41.77

Data Plot and Equation



EXISTING CONDITIONS MAP / ALTA CERTIFICATION SURVEY
 LOCATED IN THE NW 1/4 OF THE NE 1/4 OF SECTION 1, T. 29 S. - R. 15 W.
 W.M., CITY OF BANDON, COOS COUNTY, OREGON

SCHEDULE B TITLE EXCEPTION NOTES

THIS SURVEY IS BASED ON TICOR TITLE - PRELIMINARY TITLE REPORT.
 ORDER NO. 360615014437-TTCD006 - DATED JANUARY 7, 2016. ITEMS NOT LISTED BELOW ARE STANDARD TITLE EXCEPTIONS
 AND/OR ARE NOT MATTERS OR ISSUES PERTAINING TO THIS SURVEY.

SCHEDULE B TITLE EXCEPTION NOTES

THIS SURVEY IS BASED ON FIRST AMERICAN TITLE COMPANY OF OREGON - 6TH AMENDED PRELIMINARY TITLE REPORT.
 ORDER NO. 7191-2292613 - DATED NOVEMBER 06, 2014. ITEMS NOT LISTED BELOW ARE STANDARD TITLE EXCEPTIONS
 AND/OR ARE NOT MATTERS OR ISSUES PERTAINING TO THIS SURVEY.

- 40. RIGHT OF WAY IN FAVOR OF COOS AND CURRY TELEPHONE COMPANY. LOCATION UNDETERMINED. CONDITIONS PER BK 100 - PAGE 216 RECORDS OF COOS COUNTY, OREGON RECORDED DATES 7-21-1926
- 41. A 15 FOOT WIDE EASEMENT FOR ROAD RIGHT OF WAY PURPOSES. (STATED LOCATED WEST OF BEACH LOOP ROAD. (BEACH ACCESS) NOT LOCATED ON THE SUBJECT PROPERTY. DOCUMENTS 66-5-9526 & 84-4-2791, & 75-4-112543, RECORDS OF COOS COUNTY.
- 43. AN EASEMENT FOR PRIMARY AND SECONDARY SEWER DISPOSAL SITES IN FAVOR OF JOHN I. HANCOCK BY WARRANTY DEED 75-8-117545 AND MORTGAGE DOCUMENT 75-8-117547, RECORDS OF COOS COUNTY. LOCATION AS SHOWN ON MAP.
- 44. AN EASEMENT IN FAVOR OF FAIRWAY HOMES OWNERS ASSOCIATION, TERMS AND CONDITIONS PER DOCUMENT 79-4-5662, RECORDS OF COOS COUNTY, OREGON.
- 46. EASEMENTS AS DISCLOSED ON THE PLAT OF FAIRWAY HOMES & THE PLAT OF FACE ROCK CONDOMINIUM. PLAT OF FAIRWAY HOMES: INCLUDES TWO (2) PEDESTRIAN EASEMENTS, PARCELS "A" & "B" ALONG WITH A 12" SEWER EASEMENT RUNNING 6' EITHER SIDE OF THE LINE BETWEEN LOTS 9 & 10. THESE EASEMENTS HAVE BEEN ABANDONED PER PARTIAL PLAT VACATION OF THE PLAT OF FAIRWAY HOMES PER CITY OF BANDON ORDINANCE # 1433. THERE ARE TWO ADDITIONAL EASEMENTS INDICATED ON THE PLAT OF FAIRWAY HOMES, A SEWER EASEMENT AND A DRAINAGE EASEMENT, LOCATIONS AS SHOWN ON MAP. PLAT OF FACE ROCK CONDOMINIUM A GOING EASEMENT AND A 20' WIDE ACCESS EASEMENT FOR THE PLAT OF FACE ROCK CONDOMINIUM, BOOK 1, PAGE 2 OF THE CONDOMINIUM RECORDS OF COOS COUNTY, OREGON. LOCATIONS AS SHOWN ON MAP.
- 48. AN EASEMENT IN FAVOR OF FACE ROCK CONDOMINIUM THE USE OF AN EASEMENT RECORDED PER DOCUMENT 66-5-9526, RECORDS OF COOS COUNTY, OREGON. LOCATED WEST OF BEACH LOOP ROAD, NOT LOCATED ON THE SUBJECT PROPERTY. SEE EXC. 41.
- 19. TERMS AND CONDITIONS OF DECLARATIONS AND BYLAWS PER DOC'S 81-3-1593 & 81-4-1781.
- 49. A GOING EASEMENT IN FAVOR OF WARREN et al, PER DOCUMENT 87-1-5451, RECORDS OF COOS COUNTY, OREGON. LOCATION AS SHOWN ON MAP.
- 23. DOC 87 1 5456 TERMINATED BY (TERMINATION OF EASEMENT) DOCUMENT REMOVED FROM PTR 7131-2292613.
- 52. A NON-EXCLUSIVE EASEMENT IN FAVOR OF (EBELING) PER DOCUMENT 90-07-2016, RECORD OF COOS COUNTY, OREGON. LOCATED EAST OF THE SUBJECT PROPERTY (OFFSITE).
- 53. A SEWER LINE EASEMENT IN FAVOR OF BETTELHEIM, PER DOCUMENT 92-07-0564, RECORDS OF COOS COUNTY, OREGON. LOCATED ALONG THE COMMON BOUNDARY BETWEEN LOTS 17 & 18, PLAT OF FAIRWAY HOMES. NO WIDTH GIVEN.
- 54. A UTILITY EASEMENT FOR THE INSTALLATION AND MAINTENANCE OF A WATERLINE IN FAVOR OF THE CITY OF BANDON, PER DOCUMENT 1999-13620, 1999-13620, RECORDS OF COOS COUNTY, OREGON. CONSISTING OF TEE COURT AS DESCRIBED ON THE PLAT OF FAIRWAY HOMES. LOCATION AS SHOWN ON MAP.
- 55. A UTILITY EASEMENT FOR THE INSTALLATION AND MAINTENANCE OF ELECTRICAL AND OTHER UTILITY FACILITIES IN FAVOR OF THE CITY OF BANDON PER DOCUMENT 1999-13621, RECORDS OF COOS COUNTY, OREGON. CONSISTING OF TEE COURT AS DESCRIBED ON THE PLAT OF FAIRWAY HOMES. LOCATION AS SHOWN ON MAP.
- 56. CITY OF BANDON - ORDINANCE # 1433. VACATION OF LOTS 5 THRU 11, INCLUSIVE ALONG WITH PARCELS "A" & "B" (PEDESTRIAN EASEMENT PARCELS) OF THE PLAT OF FAIRWAY HOMES. DOCUMENT 1999-15547, RECORDS OF COOS COUNTY, OREGON.
- 58. A FIFTEEN FOOT WIDE UTILITY EASEMENT IN FAVOR OF THE CITY OF BANDON, PER DOCUMENT 2000-2478, RECORDS OF COOS COUNTY, OREGON. LOCATION AS SHOWN ON MAP.
- 24. A ROADWAY EASEMENT FOR ACCESS TO AN EXISTING PARKING LOT BEING A PART OF FACE ROCK CONDOMINIUM, LOCATION AS SHOWN.
- 27. EASEMENT AGREEMENT PER MF# 2003-1464B, RECORDS OF COOS COUNTY, OREGON.
- 59. A NON-EXCLUSIVE EIGHTEEN FOOT WIDE EASEMENT IN FAVOR OF WILLIAM CLARK, PER DOCUMENT 2003-14649, RECORDS OF COOS COUNTY, OREGON. LOCATION AS SHOWN ON MAP.
- 61. A NON-EXCLUSIVE EIGHTEEN FOOT WIDE EASEMENT IN FAVOR OF MARGARET MILLER, PER DOCUMENT 2003-14650, RECORDS OF COOS COUNTY, OREGON. LOCATION AS SHOWN ON MAP.
- 30. LICENSE TO USE REAL PROPERTY, PER MF # 2003-14651 - LOCATION AS SHOWN
- 26. A 15 FOOT WIDE STORMDRAIN EASEMENT IN FAVOR OF NDR STAR DEVELOPMENT. LOCATION AS SHOWN PER DOC 2003-9979.

ZONING NOTES

ZONED CD-1 CONTROL DEVELOPMENT (1)
 NEW CONSTRUCTION OR ALTERATIONS TO THE SITE IMPROVEMENTS WILL REQUIRE REVIEW AND APPROVAL BY THE CITY OF BANDON, AND COMPLY WITH THE LAND DIVISION ORDINANCES OF THE CITY OF BANDON. SEE BMC TITLE 17 (17.20).
 ZONING REGULATIONS ARE SUBJECT TO INTERPRETATION FOR FURTHER INFORMATION SEE THE CITY OF BANDON WEBSITE AT <http://BANDON.org/zoning>

BULK REGULATIONS: ALL INFORMATION SHOULD BE CONFIRMED PERTAINING TO ZONING

- 1) MAXIMUM BUILDING HEIGHT: 45'
- 2) MAXIMUM FLOOR AREA RATIO: N/A
- 3) SETBACKS VARY DEPENDING ON ADJOINING PROPERTY PLAN DESIGNATION

FRONT RESTRICTION 20 FEET
 SIDE AND REAR RESTRICTION 5 FOOT MINIMUM TOTAL THIRTEEN FEET - CORNER LOTS TOTAL FIFTEEN FEET. SEE ADDITIONAL REQUIREMENTS PER 17.20.070 OF THE BMC.
 BUILDING HEIGHT: SEE 17.20.059 OF THE BMC.

PARKING TABULATIONS: THESE REQUIREMENTS VARY IN TERMS OF USE.
 SEE CHAPTER 17.36.020 FOR SPECIFIC REQUIREMENTS DEFINED PER USE.

THE ENTIRE FACE ROCK GOLF COURSE IS DESIGNATED AS NATURAL RESOURCES/OPEN SPACE NATURAL RESOURCES. SEE CHAPTER 9 FOR ACTIVITY RESTRICTIONS AND USES.

POTENTIAL ENCRoACHMENT NOTES

ENCROACHMENTS OBSERVED: EXISTING STEEL BUILDING AND OVERHANG IS LOCATED ACROSS ONTO LANDS OWNED BY ANOTHER PARTY.
 ASKNOWLEDGEMENT

GENERAL NOTES

1. THE BASIS OF BEARING FOR THIS SURVEY BEING RECOVERED MONUMENTS LOCATED ALONG THE SOUTHERLY LINE OF GOLF LINKS ROAD PER THE PLAT OF FAIRWAY HOMES.
2. THIS PROPERTY HAS AN AREA OF 38.11 ACRES OF LAND. (PER ASSESSOR DATA)
3. THERE WERE NO OBSERVABLE EVIDENCE OF CEMETERIES FOUND AT THE TIME OF THIS SURVEY. NOR OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS, CHANGES IN RIGHT OF WAY LINES, RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS, AND NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.
4. PARCELS A & B ARE PEDESTRIAN EASEMENTS PER PLAT OF FAIRWAY HOMES. (EVACATED PREVIOUSLY AND CURRENTLY TAX LOTTED AS SHOWN).
5. ALL EXISTING UTILITY LOCATIONS HAVE NOT BEEN SHOWN. LOCATIONS UNDETERMINABLE AT THIS TIME.

ELEVATION NOTES:

1) ELEVATIONS SHOWN ARE BASED ON LOCAL DATUM, TAKEN FROM CITY OF BANDON AERIALS.

FLOOD ZONE NOTES

THE PROPERTY IS LOCATED ABOVE THE BASE FLOOD ELEVATION AND OUTSIDE OF THE (SFHA). SPECIAL FLOOD HAZARD AREA PER THE FLOOD INSURANCE RATE MAP, COMMUNITY BANDON - 410043 PANEL 0681, SUFFIX C. FIRM MAP 41011C0681R, DATED MARCH 17, 2014.

LEGAL DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NE 1/4 OF THE NW 1/4 OF SECTION 1, TOWNSHIP 29 SOUTH - RANGE 15 WEST W.M., CITY OF BANDON, COOS COUNTY, OREGON

ALL THAT PARCEL AS DESCRIBED IN THAT CERTAIN LEGAL DESCRIPTION BEARING INSTRUMENT # 2002-5596, ALONG WITH A PROPERTY LINE ADJUSTMENT PARCEL AS RECORDED PER CS# 39 B 97, RECORDS OF COOS COUNTY SURVEY.

BEING THE SAME PROPERTY AS DESCRIBED IN THE PRELIMINARY TITLE REPORT, ORDER NO. 360615014437 - TTCD006, DATED JANUARY 7, 2016 - TICOR TITLE - COOS BAY OREGON OFFICE.

LEGEND

○	SIGN	○	SANITARY MANHOLE
○	GROUND LIGHT	○	FENCE
○	OVERHEAD UTILITY	○	BOLLARD
○	POWER POLE	○	STORM MANHOLE
○	LIGHT POLE	○	GW-GUY WIRE
○	TP	○	WATER MANHOLE
○	TRAFFIC POLE	○	CATCH BASIN
○	GAS VALVE	○	FACILITY SIGN
○	TRANSFORMER	○	BAKFLOW PREV DVC
○	TR	○	
○	SIDEWALK	○	
○	BRL	○	HC
○	BUILDING RESTRICTION LINE	○	CENTERLINE
○	BC	○	CONC.
○	BACK OF CURB	○	CONCRETE
○	CALCULATED POSITION	○	GORSE
○	FOUND SURVEY MONUMENT	○	OBNOXIOUS WOODY
○	FIRE HYDRANT	○	HERBACEOUS VEGETATION
○	WATER VALVE		
○	TRAFFIC DIRECTION ARROW		
○	HANDICAP PARKING AREA		
○	EXISTING ELEVATION		

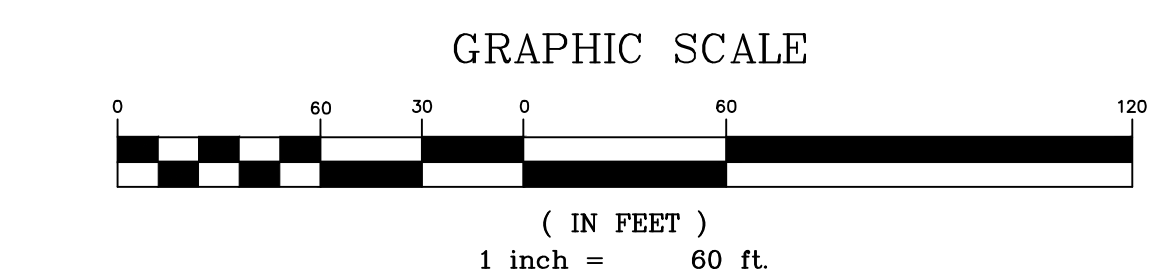
ALTA/ACSM LAND TITLE SURVEY

I HEREBY CERTIFY TO: TICOR TITLE COMPANY /
 DAVID NORDAHL & JANET NANCARROW

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS" JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 2011, AND INCLUDES ITEMS 2 THRU 6, 7(b)(1), 7(c), 8, 9, 10, 11(a), AND 13 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS."

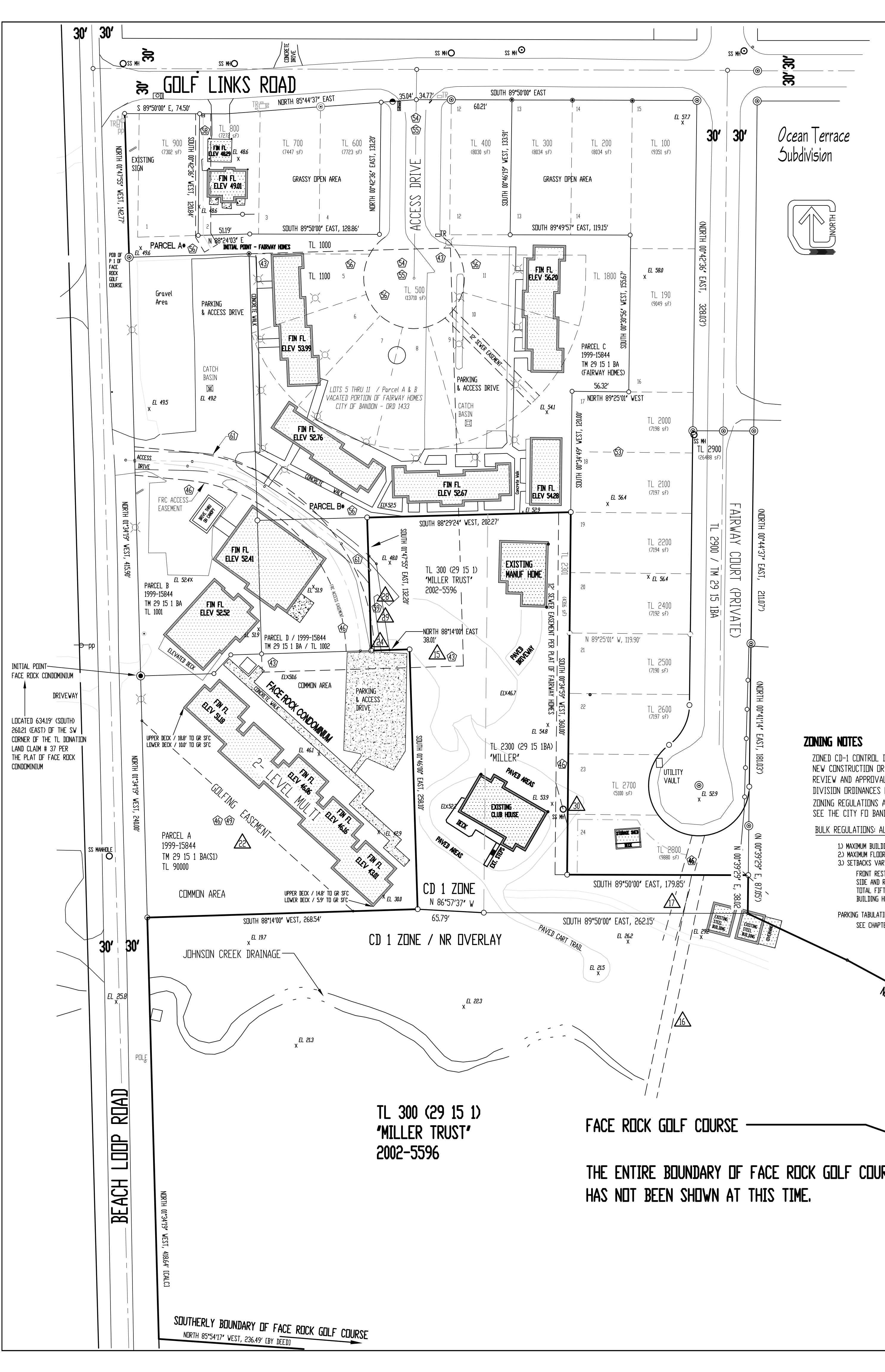
RUSS DODGE
 Registered Land Surveyor No. 2128
 IN THE STATE OF OREGON
 Date of Survey: APRIL 10, 2015
 Date of Last Revision: JANUARY 13, 2016

PROJECT NAME: FACE ROCK GOLF COURSE - Bandon, Oregon PROJECT No: D&P 15-12
 ADDRESS: SITUS 3235 BEACH LOOP ROAD CITY: Bandon STATE: OREGON



DRAWING DATA	REVISION DATES
SCALE: 1" = 60'	JANUARY 13, 2016
DRAWN BY: RSD	
CHECKED BY: RSD	
DWG. No.: 2WD	

REGISTERED PROFESSIONAL LAND SURVEYOR
 OREGON
 FEBRUARY 14, 1985
 RUSSELL S. DODGE
 2128
 EXPRES 12/31/2017



TL 300 (29 15 1)
 'MILLER TRUST'
 2002-5596

FACE ROCK GOLF COURSE
 THE ENTIRE BOUNDARY OF FACE ROCK GOLF COURSE
 HAS NOT BEEN SHOWN AT THIS TIME.

CD 1 ZONE / NR OVERLAY








WALKING
Please do not
walk on the
grass or
the path
is for
walking only.



















BW

Best
Western.



















1283

6yd

WILSON COUNTY

WILSON COUNTY















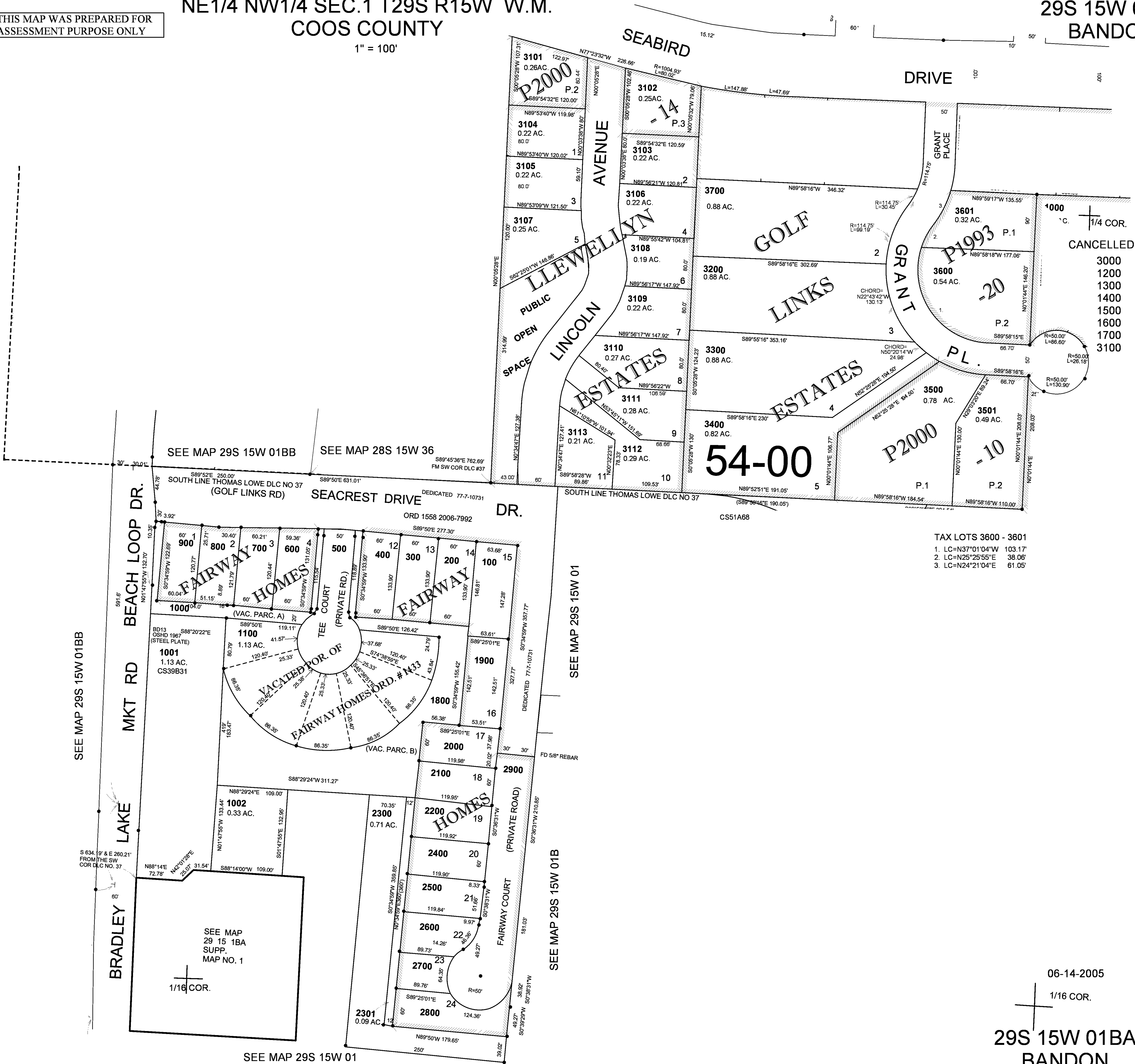


THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSE ONLY

NE1/4 NW1/4 SEC.1 T29S R15W W.M. COOS COUNTY

1" = 100'

29S 15W 01BA BANDON



SEE MAP 29S 15W 01BB

SEE MAP 28S 15W 36

SEE MAP 29S 15W 01BB

SEE MAP 29S 15W 01

SEE MAP 29S 15W 01B

SEE MAP 29S 15W 01

CANCELLED NO.

- 3000
- 1200
- 1300
- 1400
- 1500
- 1600
- 1700
- 3100

TAX LOTS 3600 - 3601

1. LC=N37°01'04"W 103.17'
2. LC=N25°25'55"E 38.06'
3. LC=N24°21'04"E 61.05'

06-14-2005

1/16 COR.

29S 15W 01BA BANDON

SECTION 1 T29S R15W W.M. COOS COUNTY

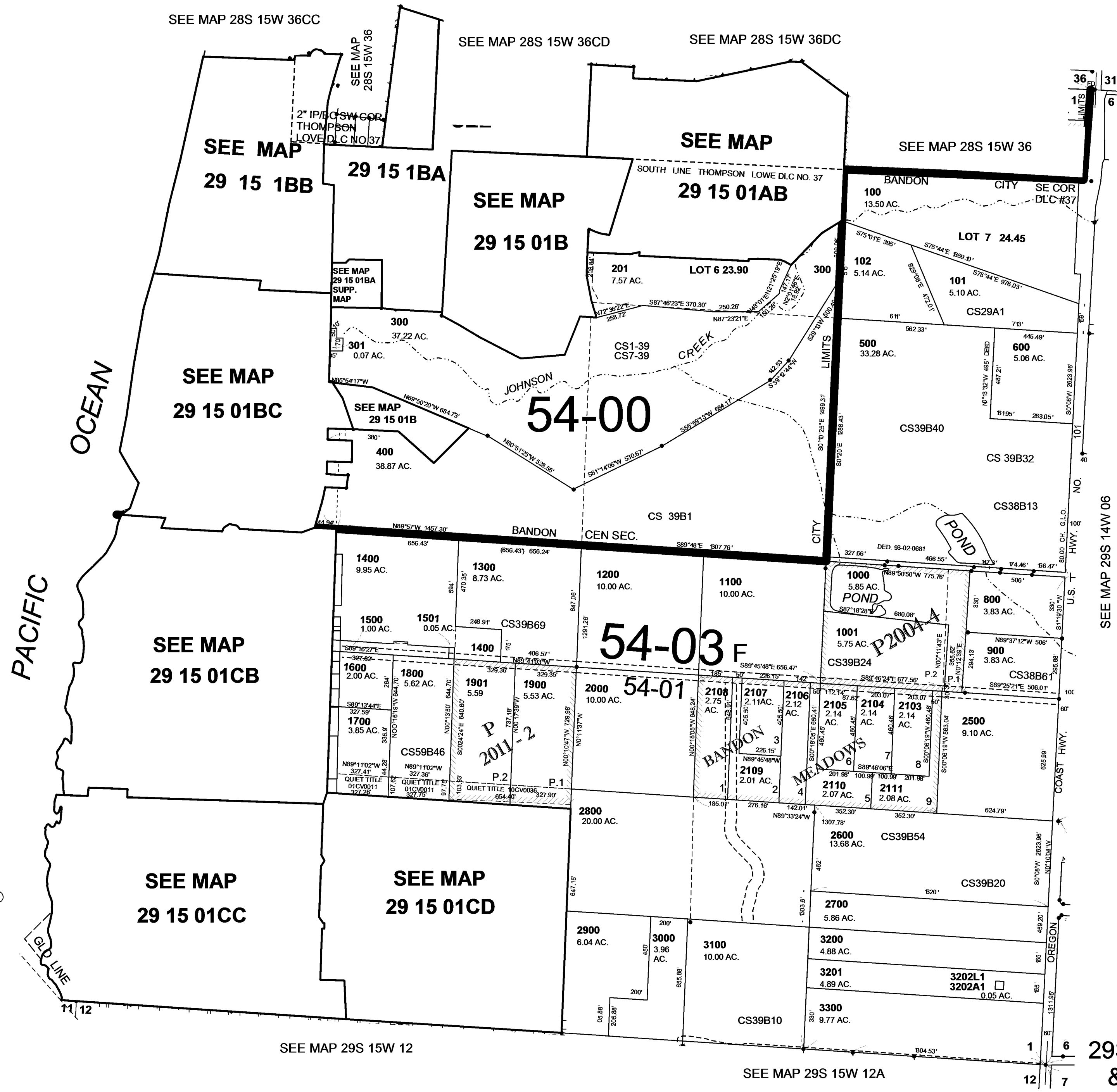
1" = 400'

29S 15W 01 & INDEX BANDON

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSE ONLY

CANCELLED NO.

- 303
- 302
- 1401
- 200
- 202
- 401
- 402
- 700
- 304
- 2100
- 2101
- 2200
- 2300
- 2400
- 2401
- 203
- 204
- 103
- 305



SEE MAP 29S 14W 06

05-10-2016
29S 15W 01 & INDEX BANDON

SEE MAP 28S 15W 36CC

SEE MAP 28S 15W 36CD

SEE MAP 28S 15W 36DC

SEE MAP 29 15 1BB

29 15 1BA

SEE MAP 29 15 01B

SEE MAP 29 15 01AB

SEE MAP 28S 15W 36

SEE MAP 29 15 01BC

SEE MAP 29 15 01CB

SEE MAP 29 15 01CC

SEE MAP 29 15 01CD

SEE MAP 29S 15W 12

SEE MAP 29S 15W 12A

PACIFIC OCEAN

U.S. T. HWY. 101
COAST HWY.

G.L.D. LINE

54-00

54-03 F

54-01

P 2011-2

BANDON MEADOWS

P2004-A

POND

JOHNSON CREEK

SOUTH LINE THOMPSON LOWE DLC NO. 37

2" IP/E/C SW COR THOMPSON LOWE DLC NO. 37

SEE MAP 29 15 01BA SUPP. MAP

300 37.22 AC.

301 0.07 AC.

400 38.87 AC.

SEE MAP 29 15 01B

1400 9.95 AC.

1500 1.00 AC.

1600 2.00 AC.

1700 3.85 AC.

1800 5.62 AC.

1901 5.59

1900 5.53 AC.

2800 20.00 AC.

2900 6.04 AC.

3000 3.96 AC.

3100 10.00 AC.

3200 4.88 AC.

3201 4.89 AC.

3300 9.77 AC.

201 7.57 AC.

LOT 6 23.90

300

102 5.14 AC.

500 33.28 AC.

1100 10.00 AC.

1200 10.00 AC.

1100 10.00 AC.

1000 5.85 AC.

1001 5.75 AC.

2108 2.75 AC.

2107 2.11 AC.

2106 2.12 AC.

2105 2.14 AC.

2104 2.14 AC.

2103 2.14 AC.

2110 2.01 AC.

2109 2.01 AC.

2111 2.08 AC.

2600 13.68 AC.

2700 5.86 AC.

3200 4.88 AC.

3201 4.89 AC.

3202L1 3202A1 0.05 AC.

3300 9.77 AC.

LOT 7 24.45

101 5.10 AC.

600 5.06 AC.

800 3.83 AC.

900 3.83 AC.

2500 9.10 AC.

2600 13.68 AC.

2700 5.86 AC.

3200 4.88 AC.

3201 4.89 AC.

3202L1 3202A1 0.05 AC.

3300 9.77 AC.

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<https://www.innatfacerock.com/>