



Planning Permit Application

CITY OF BANDON PLANNING
 P.O. BOX 67
 555 HWY 101
 BANDON, OR 97411
 P:(541) 347-2437
 F:(541)347-1415

Permit Number: 21-029

APPLICATION TYPE (select all that apply)		
<input type="checkbox"/> Annexation*	<input type="checkbox"/> Land Use Review*	<input type="checkbox"/> Subdivision*
<input type="checkbox"/> Certificate of Appropriateness (CoA)*	<input type="checkbox"/> Partition*	<input type="checkbox"/> Vacation*
<input type="checkbox"/> Comprehensive Plan or Zone Amendment*	<input checked="" type="checkbox"/> Plan Review (PR)	<input type="checkbox"/> Variance*
<input type="checkbox"/> Conditional Use Permit (CUP)*	<input type="checkbox"/> Planned Unit Development (PUD)*	<input type="checkbox"/> Zoning Compliance (ZC)
<input type="checkbox"/> Floodplain Development*	<input type="checkbox"/> Property Line Adjustment (PLA)*	<input type="checkbox"/> Other _____*
* Pre-application required		Total Fees: \$

I. PROJECT LOCATION		
Street Address: <u>TBD - LINCOLN AVE SW</u>		
Map Number / Tax Lot(s): <u>29S-15W-01B-1323</u> /	Zone: <u>CD-1</u>	Floodplain: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

II. APPLICANT'S INFORMATION (applicant is the primary party responsible for development)	
Applicant's Name: <u>Simplicity Homes LLC</u>	Phone: <u>541.257.8513</u> E-Mail: <u>jevans@simplicity-homes.com</u>
Applicant's Mailing Address: <u>2464 SW Glacier Pl, #110; Redmond, OR 97756</u>	

III. PROPERTY OWNER'S INFORMATION	
Property Owner's Name: <u>Wesley Patterson</u>	Phone: <u>541.217.6845</u> E-mail: <u>wesleypatterson55@outlook.com</u>
Mailing Address: <u>2259 Newmark St, #235; North Bend, OR 97459</u>	

IV. OTHER INFORMATION (APPLICANT'S REP, SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, ETC)	
Title: <u>Same as Applicant</u>	Name: <u>Jackie Evans</u>
Email:	Phone:
Title:	Name:
Email:	Phone:
Title:	Name:
Email:	Phone:

V. PROJECT DESCRIPTION
Use: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Other _____
*Please <u>attach</u> a short narrative that describes your proposed project and indicates the proposed use. <u>New SFD: 1-story; 3bed; 3bath with attached garage</u>

VI. SITE PLAN: Please see our "How to Create a Site Plan" and sample site plan document for requirements and tips on how to create your site plan. Plans must be drawn to scale and may be submitted electronically; printed copies must be submitted on 11x17, ledger size paper (larger or smaller paper sizes will not be accepted).

VII. PROPERTY OWNER SIGNATURE/AUTHORIZATION			
<ul style="list-style-type: none"> I have read the application and the attached documentation and I understand that my application may be delayed or deemed incomplete if I have provided insufficient information and documentation to allow for approval. I certify that the information provided in this application, including all submittals and attachments, is true and correct to the best of my knowledge. I understand and agree that all required inspections will be requested 2 business days in advance, and it is the applicant's responsibility to ensure required inspections have been requested, completed, and approved. I authorize the City of Bandon or its acting agent, to enter onto the subject property, as described in section "I. Project location". I authorize the following party(s) to act as applicant in regard to the attached application for the subject property described above. 			
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Development Disclosure

The City of Bandon is obligated to report all ground disturbances within the City of Bandon to the Coquille Indian Tribe. Property owners and applicants must adhere to all conditions and requirements set out by the Coquille Indian Tribe, State Historic Preservation Office (SHPO) or both if required. Please be aware that state statutes and federal law govern how archaeological sites are to be managed. ORS 97.745 prohibits the willful removal, mutilation, defacing, injury, or destruction of any cairn, burial, human remains, funerary objects, or objects of cultural patrimony of a Native Indian. ORS 358.920 prohibits excavation, injury, destruction, or alteration of an archaeological site or object, or removal of an archaeological object from public or private lands.

It is the property owner and applicant's responsibility to determine if additional permits from other agencies will be required, including but not limited to: Oregon State Building Codes, Oregon State Department of Environmental Quality, FEMA, Oregon State Fish and Wildlife and U.S. Fish and Wildlife. If additional permits are required, it is the responsibility of the property owner/applicant to obtain such permits and comply with their conditions of approval.

It is the property owner/applicant's responsibility to provide the City of Bandon all necessary legal documentation related to the property, including but not limited to: proof of ownership, receipts, deed restrictions, vacation records, easement records, etc.

I acknowledge, understand, and agree, that all relevant documentation will be provided to the City of Bandon, and that all required permits and consent will be obtained prior to the start of construction, with all conditions of approval adhered to.			
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<i>Applicant's Signature</i>			
Date			

Staff's Signature of Intake: *Jane Hinojosa* Date: 10 March 2021

Staff's Signature of Completeness: _____ Date: _____

Staff's Signature of Approval: _____ Date: _____

Submittal Requirements:

1. Completed Pre-Application with summary notes from the Planning Department (if applicable)
2. Complete Planning Permit application (including fees and applicable property records)
3. Signed Development Disclosure
4. Completed Submittal Requirement sheet

Site Plan Requirements (please check that you have completed each of the following)

- Setbacks on all sides of the property (must be marked from the closest structure to the property line)
- Property line must be clearly marked on all sides - if property corners cannot be determined a survey will be required.
- Location of all buildings and proposed building or addition
- Location of all mechanical equipment and proposed equipment (HVAC, propane tanks and enclosures - these cannot be located in the setback area)
- Fences, patios, sidewalks, (if being built along with the construction of a building)
- Decks, steps, porches (these cannot be located in the setback)
- All off-street parking
- Location of the front entrance and all exterior doorways
- Location & material of the driveway
- Direction of roof drainage
- Drywell, if required (must be engineered)
- Location of electric meter base (on the front or no farther than 5 feet down the side)
- Proposed water and sewer line locations
- Water shut off valve must be located beside the water meter box; 6" sewer clean out must be at the property line
- Square footage of the lot, structures including garage (1st & 2nd floors noted separately), and percentage of impermeable surface. (Impermeable surfaces must be shown on the site plan)

Design Feature Requirements (Please check your selections)

Homes in the R-1 and R-2 zones require a minimum of 6 (at least 3 on the face of the home)

Homes in the CD zones require a minimum of 8 (at least 4 on the face of the home)

- | | |
|--|--|
| <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Roof pitch at or greater than 3/12 <input checked="" type="checkbox"/> Covered porch - (minimum of 25 square feet) <input checked="" type="checkbox"/> Tile or Architectural grade shingles (not composition shingle) <input checked="" type="checkbox"/> Off set of the building face or roof (at least one foot, minimum of 2 feet in cd-1 & cd-2 zones) <input checked="" type="checkbox"/> Eaves with a minimum projection of six (6) inches <input checked="" type="checkbox"/> Horizontal lap siding, cedar shake or shingle on 100% of the exterior <input type="checkbox"/> Recessed entry area (minimum depth of three feet) <input checked="" type="checkbox"/> Garage (constructed with exterior finish materials matching the residence) <input type="checkbox"/> Combination of cedar shake and shingle siding or lap siding with stone | <ul style="list-style-type: none"> <input type="checkbox"/> Bay windows <input type="checkbox"/> Cupolas <input type="checkbox"/> Hip roof <input type="checkbox"/> Pillars or posts <input type="checkbox"/> Mullioned windows <input checked="" type="checkbox"/> Window shutters <input type="checkbox"/> Clerestory windows <input type="checkbox"/> Dormers <input checked="" type="checkbox"/> Gables |
|--|--|

Additional Required Plans

- Floor plan - Including garage (before and after drawings must be included for remodel/additions)
- Elevation of all structures - All sides must show direction, dimensions, height, design features and depth of eaves/gutters.
- Grade of property and/or grading plan
- Foundation plan for all construction - (for a manufactured home the slab & runner system)
- DEQ septic system permit & plan drawings - (if applicable)
- Geotechnical report - (if applicable)
- Drainage plan - (with engineered drawings if applicable)
- Engineered foundation - (if applicable)

YOUR APPLICATION WILL BE DEEMED INCOMPLETE IF YOUR SITE PLAN FAILS TO LIST ALL REQUIRED INFORMATION, INCLUDING DESIGN FEATURE REQUIREMENTS WHICH MUST ALSO BE SHOWN IN YOUR SUBMITTED ELEVATION PLANS.

Authorization for Representation

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INSPECTION SCHEDULE: All city inspections must be requested at least 2 business days in advance. Failure to schedule or complete required inspections may delay the final approval of your project.

Code Compliance Inspection List:

- Inspection # 1:** Compliance with approved site plan Inspection required prior to pouring foundation footings.
- Inspection # 2:** Compliance with approved floor plans and elevation drawings - Inspection required after the roof trusses are placed but prior to any cover being installed.
- Inspection # 3:** Compliance with approved plans for drainage, utility service, off-street parking, any required street improvements, house numbering and authorized land use approvals. - Inspection required upon completion of structure and related site work, prior to occupancy. This inspection is done **AFTER** the State Building Codes inspectors have approved a final inspection for the project.

Public Works Inspection List:

- Inspection # 1:** Lot Drainage; Compliance with approved drainage plan - Inspection required prior to any drainage work.
- Inspection # 2:** Culvert; Compliance with approved plan - Inspection required prior to covering.
- Inspection # 3:** Water shut off control valve; per APWA Standards - Inspection required prior to covering.
- Inspection # 4:** Sewer lateral and clean out (6" at property line per Compliance with APWA Standards); Compliance with City requirements - Inspection required prior to covering.
- Inspection # 5:** Driveway: Per APWA Standards - Inspection required prior to pouring paving material.

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Jackie Evans **Date:** 3/9/2021

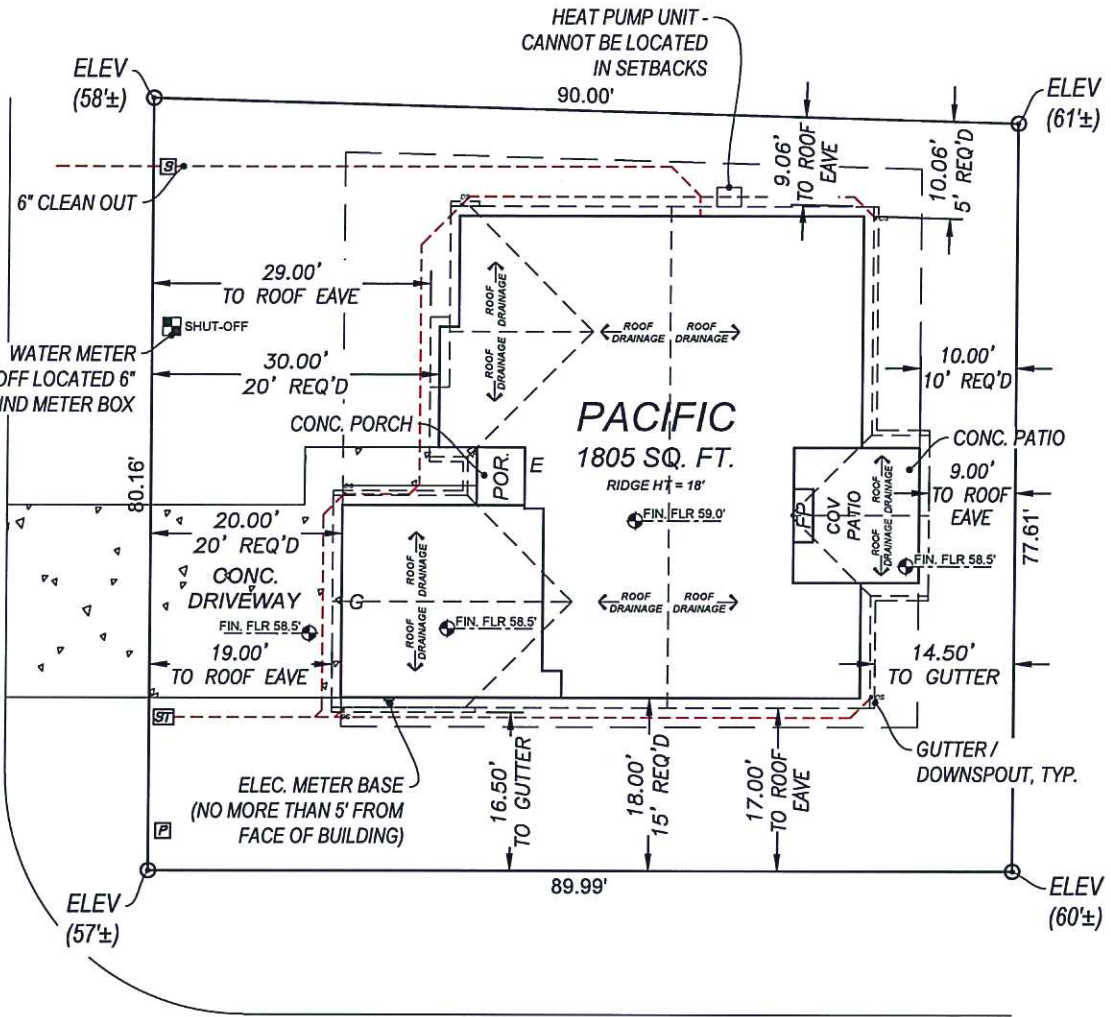
Mailing Address: 2464 SW Glacier Pl, #110; Redmond, OR 97756

Phone Number: 541.257.8513 **Email:** jevans@simplicity-homes.com

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LINCOLN AVE. SW



GOLF LINKS RD.

ROOF OVERHANGS - 12" + 4" GUTTERS = 16" TOTAL

EAVES CANNOT ENROACH SETBACKS MORE THAN 18"

ALL DRAINAGE FROM GUTTERS WILL BE ROUTED TO CATCH BASIN

NO STEPS FROM PORCH TO HOUSE OR PORCH TO GRADE

PORCH OUTLINE IS CONCRETE BELOW AND IS WIDER THAN HOME DUE TO PORCH COLUMNS, SEE FLOOR PLAN FOR REFERENCE

- ☐ WATER METER
*WATER METER SHUTOFF TO BE LOCATED 6" BEHIND METER BOX
- ☐ POWER METER BASE
- ☐ SEWER
- ☐ STORM WATER
*ALL DRAINAGE FROM GUTTERS TO ENTER CATCH BASIN
- ☐ DOWNSPOUT

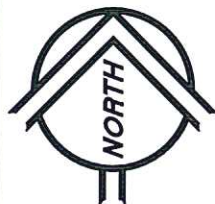
LOT AREA (SF)	BUILDING AREA (SF)	BUILDING COVERAGE (50% MAX.)	IMPERVIOUS AREA (SF)	IMPERVIOUS COVERAGE (65% MAX.)
7,405	2,437	32.9%	2,945	39.8%

MAP & TAX LOT #: 28S-15W-01B-1323
ACCOUNT #: 1233342
LOT AREA: 7,405 S.F. (0.17 ACRES)



SIMPLICITY

BY HAYDEN HOMES



SCALE 1:20



THE PATTERSON RESIDENCE
LINCOLN AVE. SW
BANDON, OR

ALL RIGHTS RESERVED. ANY REPRODUCTION WITHOUT THE DESIGNER'S WRITTEN CONSENT IS STRICTLY PROHIBITED.

NOTICE: THESE PLANS ARE NOT STAMPED BY AN ENGINEER OR ARCHITECT. LOCAL BUILDING CODES AND/OR OTHER APPLICABLE LAWS, CODES, RULES OR ORDINANCES MAY REQUIRE THESE PLANS TO BE STAMPED BY AN ENGINEER AND/OR ARCHITECT PRIOR TO RECEIPT OF A BUILDING PERMIT. OWNER, CONTRACTOR, AND/OR AGENTS ARE SOLELY RESPONSIBLE FOR OBTAINING SUCH STAMPS.

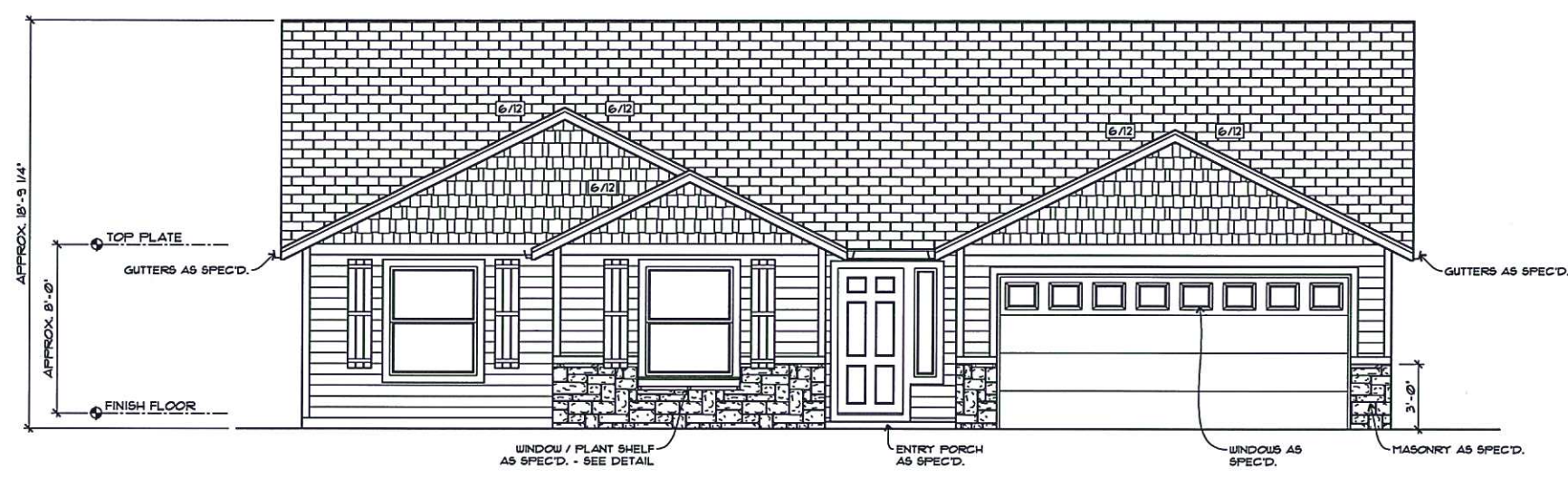
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SIMPLICITY
BY HAYDEN HOMES

2464 SW GLACIER PLACE
REDMOND, OR 97756
PHONE 541-923-6607 FAX 541-548-0761

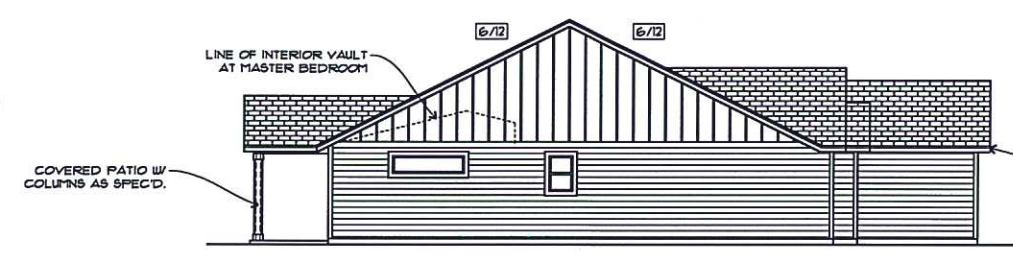
THE PATTERSON RESIDENCE
THE PACIFIC
1805 SQ. FT.



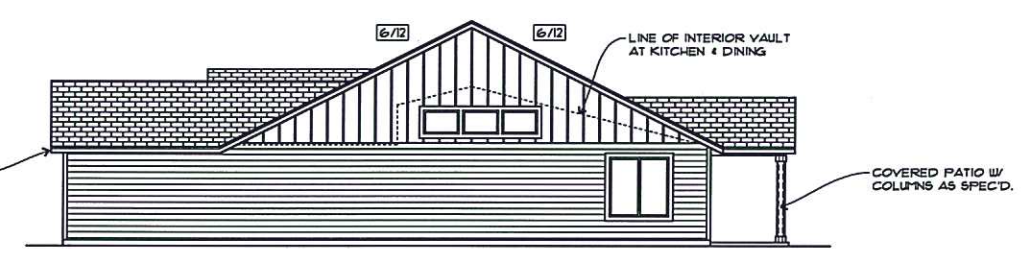
*PORCH WILL NOT REQUIRE STEPS
12" EAVES + 4" GUTTER

- F. All homes in the CD-1 zone, including but not limited to conventionally constructed homes and manufactured homes, shall utilize at least eight of the following design features (at least four of these features required must be integrated on a face of the dwelling):
- 1. Garage constructed with finish materials matching the residence;
 - 2. ~~4-1/2" Eaves~~
 - 3. Roof with a pitch at or greater than 3/12;
 - 4. ~~4-1/2" Eaves~~
 - 5. Gables;
 - 6. ~~1/2" Shuttered Windows~~
 - 7. Eaves with a minimum projection of six inches;
 - 8. Tile or architectural grade shingles;
 - 9. ~~Downspouts~~
 - 10. Offsets on the building face or roof of at least twelve (12) inches;
 - 11. ~~Cupolas~~
 - 12. Covered porch - a minimum of 25 square feet;
 - 13. ~~Roofed entry area - a minimum of three-foot~~
 - 14. ~~Decorative posts~~
 - 15. ~~Bay windows~~
 - 16. Window shutters;
 - 17. ~~Decorative windows~~
 - 18. Horizontal lap siding on 100% of the exterior, cedar shake or shingle siding on 100% of the exterior, or combination of cedar shake or shingle siding or lap siding with stone.

FRONT ELEVATION - WEST
SCALE: 1/4" = 1'-0" (24 x 36 SHEET)
SCALE: 1/8" = 1'-0" (11 x 11 SHEET)



LEFT ELEVATION - NORTH
SCALE: 1/8" = 1'-0" (24 x 36 SHEET)
SCALE: 1/16" = 1'-0" (11 x 11 SHEET)



RIGHT ELEVATION - SOUTH
SCALE: 1/8" = 1'-0" (24 x 36 SHEET)
SCALE: 1/16" = 1'-0" (11 x 11 SHEET)



REAR ELEVATION - EAST
SCALE: 1/4" = 1'-0" (24 x 36 SHEET)
SCALE: 1/8" = 1'-0" (11 x 11 SHEET)

NOTE:
APPROX. 42 SQ. FT.
OPTIONAL MASONRY

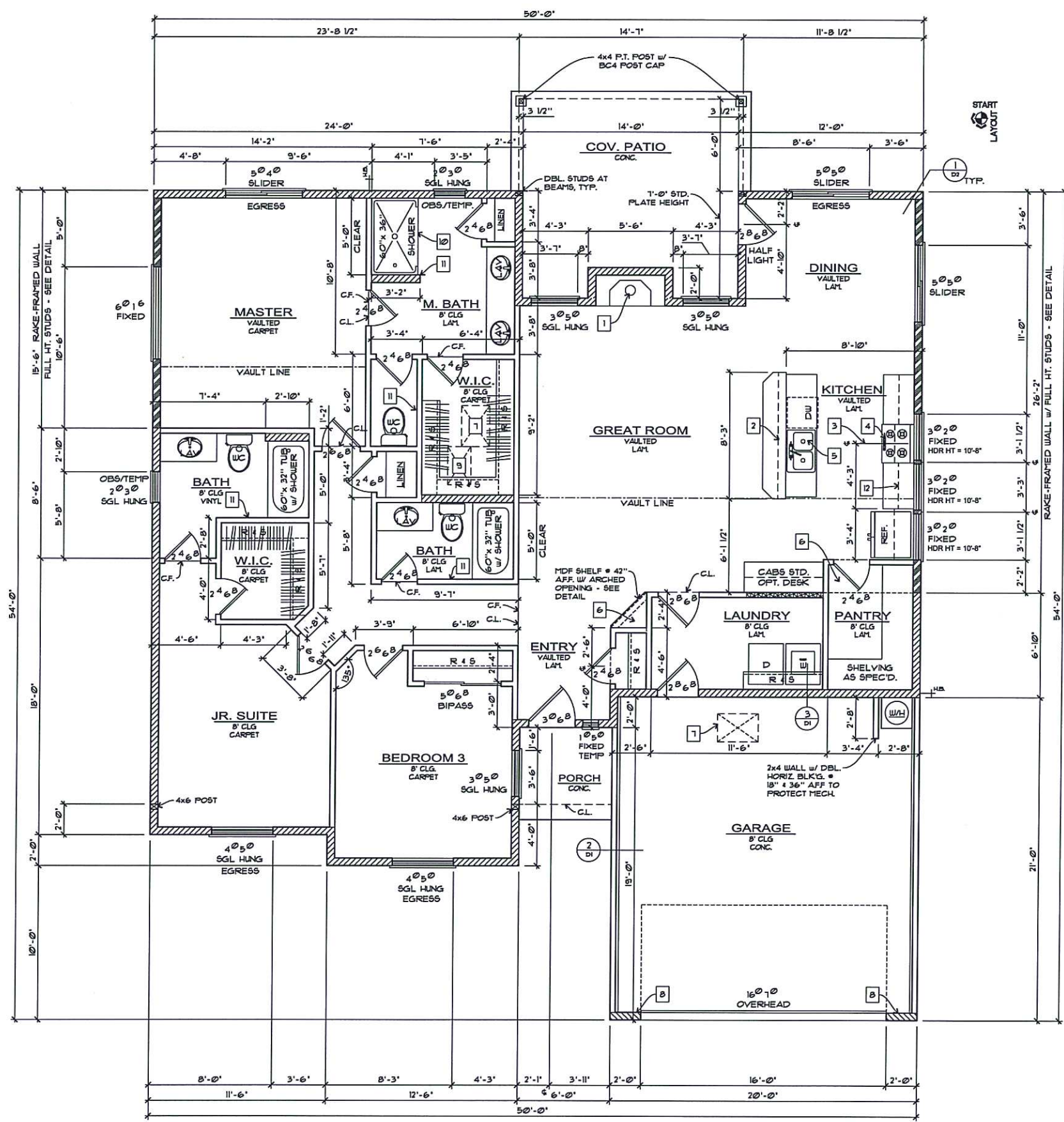
REVISIONS

CURRENT AS OF 021615

ELEVATIONS

SEE CS

A1



FLOOR PLAN
 SCALE: 1/4" = 1'-0" (24 x 36 SHEET)
 SCALE: 1/8" = 1'-0" (11 x 11 SHEET)

ROUGH FRAMED OPENINGS:
 BI-FOLD: 82" x 61"
 BI-PASS: 83 1/4" x DOOR SIZE

ARCHED HALLWAY OPENINGS:
 FRAME CENTER OF ARCH 1 1/2"
 BELOW WINDOW HEADER HT.
 HDR. TO BE TIGHT TO TOP FL.

KEYNOTES

SYM.	DESCRIPTION
1	ZERO CLEARANCE FIREPLACE - VERIFY DIMS. PRIOR TO ROUGH FRAME (SEE DETAIL ON D3 SHEET)
2	42" H 2x6 HALF-WALL w/ COUNTER BAR - SEE DETAIL
3	REQUIRES 14-1/2" IN THE CLEAR FROM CENTER OF MICROWAVE
4	RANGE w/ HOOD / MICRO ABOVE
5	SINK w/ DISPOSAL
6	PLANT LEDGE ABOVE (DEPTH AS INDICATED) - 2x4 FRAMING w/ 3/4" WAFFERBD. SUBFLOOR OVER
7	ATTIC ACCESS - SEE ROOF PLAN
8	FURR OUT HEADER w/ FLAT 2x BLKG. TO ENSURE GARAGE DOOR TRACKING HAS ADEQUATE BACKING - VERIFY TRACK LOCATION PRIOR TO INSTALLATION
9	CRAWLSPACE ACCESS - SEE FOUNDATION PLAN
10	36" D. STAND-UP SHOWER - ADJUST WALL FRAMING / BLKG. ON SIDES ACCORDINGLY
11	2x6 SCRAP BLOCKING VERIFY HEIGHT IN FIELD SEE DETAIL 4/D2
12	2x6 SCRAP BLOCKING * WALL MOUNTED CABINETS VERIFY HEIGHT WITH CABINET LAYOUT SEE DETAIL 4/D2

Flat ceiling heights to be 7'-9-1/8"

NOTES:

INTERIOR WALLS w/ CABINETRY TO BE FRAMED @ 16" O.C. TO PROVIDE ADEQUATE BLOCKING FOR CABINETS.

IF FRAMING DIMENSION ARE NOT SHOWN ON OPTIONS, REFER TO STANDARD PLAN FOR LOCATIONS/DIMENSIONS.

HINGED DOORS w/ NO DIMENSIONS TO BE FRAMED APPROX. 4" FROM ADJACENT WALL ON HINGE SIDE OF DOOR AS ALLOWED (NO LESS THAN 3").

DOUBLE DOORS OR OPENINGS w/ NO DIMENSIONS TO BE CENTERED BETWEEN ADJACENT WALLS AS ALLOWED.

SYMBOLS LEGEND

- 2x6 FRAME WALL w/ STUDS
- 2x4 FRAME WALL w/ STUDS
- KITCHEN CABINET WALL @ 16" O.C.
- INTERIOR BEARING WALL INDICATION
- 2x6 RAKE-FRAMED WALL (STUDS FULL HEIGHT TO VAULT AT 16" O.C.)
- BLOCK INDICATION
- CF. CHANGE IN FLOOR
- CL. CHANGE IN CEILING LINE
- R 4 5 ROD & SHELF
- HDR HT * BOTTOM OF HDR ABOVE FIN. FLOOR
- HOSE BIBB LOCATION

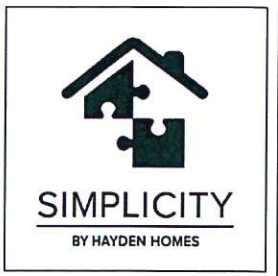
DESCRIPTION

MAIN LEVEL	1805 SQ. FT.
BEDROOMS	3
BATHS	3
GARAGE	420 SQ. FT.
COVERED PATIO	186 SQ. FT.
COVERED PORCH	30 SQ. FT.

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FLOOR PLAN

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A2