



Planning Permit Application

CITY OF BANDON PLANNING
 P.O. BOX 67
 555 HWY 101
 BANDON, OR 97411
 P:(541) 347-2437
 F:(541)347-1415

Permit Number:

APPLICATION TYPE (select all that apply)		
<input type="checkbox"/> Annexation*	<input type="checkbox"/> Land Use Review*	<input type="checkbox"/> Subdivision*
<input type="checkbox"/> Certificate of Appropriateness (CoA)*	<input type="checkbox"/> Partition*	<input type="checkbox"/> Vacation*
<input type="checkbox"/> Comprehensive Plan or Zone Amendment*	<input type="checkbox"/> Plan Review (PR)	<input type="checkbox"/> Variance*
<input type="checkbox"/> Conditional Use Permit (CUP)*	<input type="checkbox"/> Planned Unit Development (PUD)*	<input type="checkbox"/> Zoning Compliance (ZC)
<input type="checkbox"/> Floodplain Development*	<input type="checkbox"/> Property Line Adjustment (PLA)*	<input type="checkbox"/> Other_____*
* Pre-application required		Total Fees: \$

I. PROJECT LOCATION		
Street Address: TBD - Seabird Dr		
Map Number / Tax Lot(s): 28S 15W 36DC 6500 /	Zone: CD-1	Floodplain: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

II. APPLICANT'S INFORMATION (applicant is the primary party responsible for development)	
Applicant's Name: Simplicity Homes LLC	Phone: 541.257.8513 E-Mail: jevans@simplicity-homes.com
Applicant's Mailing Address: 2464 SW Glacier Pl, #110; Redmond, OR 97756	

III. PROPERTY OWNER'S INFORMATION	
Property Owner's Name: Vicki Gernandt	Phone: 541.297.6640 E-mail: vickigrealtor@msn.com
Mailing Address: 3883 Natalie Way; Bandon, OR 97411	

IV. OTHER INFORMATION (APPLICANT'S REP, SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, ETC)	
Title: Same as Applicant	Name: Jackie Evans
Email:	Phone:
Title:	Name:
Email:	Phone:
Title:	Name:
Email:	Phone:

V. PROJECT DESCRIPTION
Use: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Other_____
*Please attach a short narrative that describes your proposed project and indicates the proposed use.
New SF: 1-story; 1609sf; 3bed; 2bath with attached garage

VI. SITE PLAN: Please see our "How to Create a Site Plan" and sample site plan document for requirements and tips on how to create your site plan. Plans must be drawn to scale and may be submitted electronically; **printed copies must be submitted on 11x17, ledger size paper (larger or smaller paper sizes will not be accepted).**

VII. PROPERTY OWNER SIGNATURE/AUTHORIZATION

- I have read the application and the attached documentation and I understand that my application may be delayed or deemed incomplete if I have provided insufficient information and documentation to allow for approval.
- I certify that the information provided in this application, including all submittals and attachments, is true and correct to the best of my knowledge.
- I understand and agree that all required inspections will be requested 2 business days in advance, and it is the applicant's responsibility to ensure required inspections have been requested, completed, and approved.
- I authorize the City of Bandon or its acting agent, to enter onto the subject property, as described in section "I. Project location".
- I authorize the following party(s) to act as applicant in regard to the attached application for the subject property described above.

X Applicant's Signature:	DocuSigned by: <i>Jackie Evans</i>	Date: 3/8/2021
<i>Property owner's signature required if applicant is not the property owner</i>		
X Property Owner's Signature:	DocuSigned by: <i>Viki Gernandt</i>	Date: 3/8/2021

Development Disclosure

The City of Bandon is obligated to report all ground disturbances within the City of Bandon to the Coquille Indian Tribe. Property owners and applicants must adhere to all conditions and requirements set out by the Coquille Indian Tribe, State Historic Preservation Office (SHPO) or both if required. Please be aware that state statutes and federal law govern how archaeological sites are to be managed. ORS 97.745 prohibits the willful removal, mutilation, defacing, injury, or destruction of any cairn, burial, human remains, funerary objects, or objects of cultural patrimony of a Native Indian. ORS 358.920 prohibits excavation, injury, destruction, or alteration of an archaeological site or object, or removal of an archaeological object from public or private lands.

It is the property owner and applicant's responsibility to determine if additional permits from other agencies will be required, including but not limited to: Oregon State Building Codes, Oregon State Department of Environmental Quality, FEMA, Oregon State Fish and Wildlife and U.S. Fish and Wildlife. If additional permits are required, it is the responsibility of the property owner/applicant to obtain such permits and comply with their conditions of approval.

It is the property owner/applicant's responsibility to provide the City of Bandon all necessary legal documentation related to the property, including but not limited to: proof of ownership, receipts, deed restrictions, vacation records, easement records, etc.

I acknowledge, understand, and agree, that all relevant documentation will be provided to the City of Bandon, and that all required permits and consent will be obtained prior to the start of construction, with all conditions of approval adhered to.		
X	DocuSigned by: <i>Viki Gernandt</i>	3/8/2021
<i>Property Owner's Signature (Property owner's signature required if applicant is not the property owner)</i>		Date
X	DocuSigned by: <i>Jackie Evans</i>	3/8/2021
<i>Applicant's Signature</i>		Date

Staff's Signature of Intake: _____ Date: _____

Staff's Signature of Completeness: _____ Date: _____

Staff's Signature of Approval: _____ Date: _____

Submittal Requirements:

1. Completed Pre-Application with summary notes from the Planning Department (if applicable)
2. Complete Planning Permit application (including fees and applicable property records)
3. Signed Development Disclosure
4. Completed Submittal Requirement sheet

Site Plan Requirements (please check that you have completed each of the following)

- Setbacks on all sides of the property (must be marked from the closest structure to the property line)
- Property line must be clearly marked on all sides - if property corners cannot be determined a survey will be required.
- Location of all buildings and proposed building or addition
- Location of all mechanical equipment and proposed equipment (HVAC, propane tanks and enclosures - these cannot be located in the setback area)
- Fences, patios, sidewalks, (if being built along with the construction of a building)
- Decks, steps, porches (these cannot be located in the setback)
- All off-street parking
- Location of the front entrance and all exterior doorways
- Location & material of the driveway
- Direction of roof drainage
- Drywell, if required (must be engineered)
- Location of electric meter base (on the front or no farther than 5 feet down the side)
- Proposed water and sewer line locations
- Water shut off valve must be located beside the water meter box; 6" sewer clean out must be at the property line
- Square footage of the lot, structures including garage (1st & 2nd floors noted separately), and percentage of impermeable surface. (Impermeable surfaces must be shown on the site plan)

Design Feature Requirements (Please check your selections)

Homes in the R-1 and R-2 zones require a minimum of 6 (at least 3 on the face of the home)

Homes in the CD zones require a minimum of 8 (at least 4 on the face of the home)

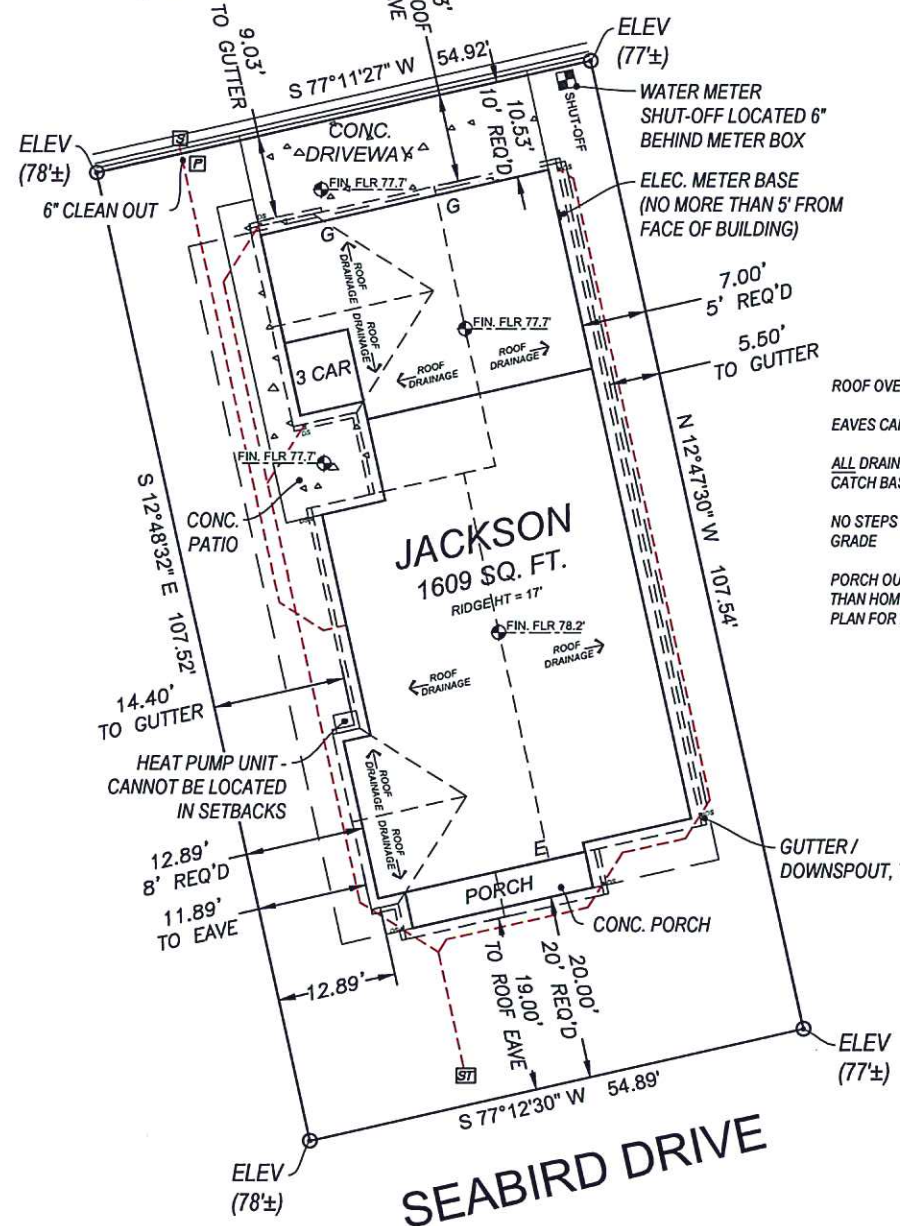
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|--|---|
| <input checked="" type="checkbox"/> Roof pitch at or greater than 3/12 | <input type="checkbox"/> Bay windows |
| <input checked="" type="checkbox"/> Covered porch - (minimum of 25 square feet) | <input type="checkbox"/> Cupolas |
| <input checked="" type="checkbox"/> Tile or Architectural grade shingles (not composition shingle) | <input type="checkbox"/> Hip roof |
| <input checked="" type="checkbox"/> Off set of the building face or roof (at least one foot, minimum of 2 feet in cd-1 & cd-2 zones) | <input type="checkbox"/> Pillars or posts |
| <input checked="" type="checkbox"/> Eaves with a minimum projection of six (6) inches | <input type="checkbox"/> Mullioned windows |
| <input checked="" type="checkbox"/> Horizontal lap siding, cedar shake or shingle on 100% of the exterior | <input checked="" type="checkbox"/> Window shutters |
| <input type="checkbox"/> Recessed entry area (minimum depth of three feet) | <input type="checkbox"/> Clerestory windows |
| <input checked="" type="checkbox"/> Garage (constructed with exterior finish materials matching the residence) | <input type="checkbox"/> Dormers |
| <input type="checkbox"/> Combination of cedar shake and shingle siding or lap siding with stone | <input checked="" type="checkbox"/> Gables |

Additional Required Plans

- Floor plan - Including garage (before and after drawings must be included for remodel/additions)
- Elevation of all structures - All sides must show direction, dimensions, height, design features and depth of eaves/gutters.
- Grade of property and/or grading plan
- Foundation plan for all construction - (for a manufactured home the slab & runner system)
- DEQ septic system permit & plan drawings - (if applicable)
- Geotechnical report - (if applicable)
- Drainage plan - (with engineered drawings if applicable)
- Engineered foundation - (if applicable)

YOUR APPLICATION WILL BE DEEMED INCOMPLETE IF YOUR SITE PLAN FAILS TO LIST ALL REQUIRED INFORMATION, INCLUDING DESIGN FEATURE REQUIREMENTS WHICH MUST ALSO BE SHOWN IN YOUR SUBMITTED ELEVATION PLANS.

AVOCET AVE.



ROOF OVERHANGS - 12" + 4" GUTTERS = 16" TOTAL
 EAVES CANNOT ENROACH SETBACKS MORE THAN 18"
 ALL DRAINAGE FROM GUTTERS WILL BE ROUTED TO CATCH BASIN
 NO STEPS FROM PORCH TO HOUSE OR PORCH TO GRADE
 PORCH OUTLINE IS CONCRETE BELOW AND IS WIDER THAN HOME DUE TO PORCH COLUMNS, SEE FLOOR PLAN FOR REFERENCE

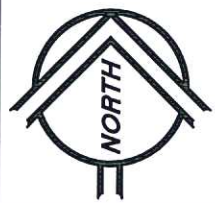
- WATER METER
"WATER METER SHUTOFF TO BE LOCATED 6" BEHIND METER BOX"
- POWER METER BASE
- SEWER
- STORM WATER
"ALL DRAINAGE FROM GUTTERS TO ENTER CATCH BASIN"
- DOWNSPOUT

LOT AREA (SF)	BUILDING AREA (SF)	BUILDING COVERAGE (50% MAX.)	IMPERVIOUS AREA (SF)	IMPERVIOUS COVERAGE (65% MAX)
5,904	2,380	40.3%	2,949	49.9%

MAP & TAX LOT #: 28S-15W-36DC-6500
 ACCOUNT #: 99919838
 LOT AREA : 5,904 S.F. (0.14 ACRES)



SIMPLICITY
 BY HAYDEN HOMES



SCALE 1:20



THE GERNANDT RESIDENCE
 SEABIRD DR.
 BANDON, OR

