



PLAN REVIEW STAFF REPORT

Application File Name (Number): Lillie (20-139)

Applicant's Request: Approval of a Plan Review ("PR") to build a single-family dwelling ("SFD") in the Controlled Development 1 Zone ("CD-1").

Owner: Caleb Lillie

Applicant: Caleb Lillie

Lead City Staff: Megan Lawrence, City Planner

Review Date: Thursday, February 11, 2021 at 2:00pm

Subject Property/Location/Size: The property is a vacant lot located off Seacrest Drive. The lot is approximately 0.17 acres in size and is within the CD-1 zone.

Current Zone Designation: Controlled Development 1 (CD-1)

Relevant Dates: A Planning Permit Application for Plan Review and Zoning Compliance was submitted on January 4, 2021. The application was deemed complete upon submission.

Purpose of Staff Report: Staff reports provide the reviewing body and community members with information regarding current land use requests and staff analysis of the application. The staff report provides only preliminary information and recommendations. The reviewing body will consider public testimony and other materials submitted to the City in writing, when making decisions on the application.



Ordinances Referenced

17.20 Controlled Development 1 (CD-1) Zone

Site Description & Potential Impact

The property is a vacant lot located off Fairway Court; a private street located in the Fairway Homes Subdivision.

Figure 1 Tax Lot Map and Designation



Figure 2 Aerial View of Subject Property



The Coquille Indian Tribe provided notice on January 6, 2021, anticipating no effect to cultural resources in the vicinity of the subject property, but recommended that extreme caution be exercised during the construction process and requests that if any known or suspected cultural resources are encountered during the work, ground-disturbing activities should cease, and the landowner or contractor should contact their Tribal Historic Preservation Office immediately.

Procedural – Required Burden of Proof

Title 17 – Chapter 17.20 – Controlled Development 1 (CD-1) Zone

17.20.010 Purpose

The purpose of the CD-1 zone is to recognize the scenic and unique qualities of Bandon’s ocean front and nearby areas and to maintain these qualities as much as possible by carefully controlling the nature and scale of future development in this zone. It is intended that a mix of uses would be permitted including residential, tourist commercial and recreational. Future development is to be controlled in order to enhance and protect the area’s unique qualities.

The proposed use is residential, which staff finds meets the purpose of the zone.



17.20.020 Permitted uses

In the CD-1 zone, *single-family dwellings, or manufactured dwellings as defined in Title 16* are permitted outright provided that the use promotes the purpose of the zone and all other requirements of this title are met. The request is for a single-family dwelling, which is an outright permitted use.

17.20.040 Limitations on use

In the CD-1 zone, limitations on use require all new uses or structures or major exterior alterations of existing structures in the CD-1 zone shall comply with the following:

1. *The developer shall be required to gain approval from the planning commission during a plan review in public session regarding the design and siting of the structure(s) and all other requirements of this title. The approval or denial of a proposed land use resulting from this review will occur as a limited land use decision and shall require notice to property owners in the notice area (see Section 17.120.070).*

As previously stated, this is a request for a single-family residence, which is a permitted use within the CD-1 Zone, subject to a Plan Review.

BMC 17.20.040(E) states: *All homes in the CD 1 zone, including but not limited to conventionally constructed homes and manufactured homes, shall utilize at least eight of the following design features (at least four of these features required must be integrated on a face of the dwelling):*

1. *Garage constructed with finish materials matching the residence;*
2. *Hip Roof*
3. *Roof with a pitch at or greater than 3/12;*
4. *Hip Roof;*
5. *Gables;*
6. *Mullioned Windows*
7. *Eaves with a minimum projection of six inches;*
8. *Tile or architectural grade shingles;*
9. *Dormers;*
10. *Offsets on the building face or roof of at least twelve (12) inches;*
11. *Cupolas;*
12. *Covered porch - a minimum of 25 square feet;*
13. *Recessed entry area a minimum of three feet*
14. *Pillars or posts;*
15. *Bay windows;*
16. *Window shutters;*
17. *Clerestory windows;*
18. *Horizontal lap siding on 100% of the exterior, cedar shake of shingle or shingle siding on 100% of the exterior, or combination of cedar shake or shingle siding or lap siding with stone.*



The applicant shows the following architectural features, which meet and exceed the requirements of the zone, on their elevation drawings: (1) garage constructed with finish materials matching the residence, (2) Eaves with a minimum projection of six inches, (3) a roof pitch at or greater than 3/12 (4) covered Porch (minimum of 25 square feet), (5) horizontal lap siding on 100% of the exterior, and (6) Offsets on the building face or roof of at least twelve inches, (7) Tile or architectural grade shingles, (8) Combination of cedar shake and shingle siding or lap siding with stone, (9) Pillars or posts, and (10) Gables.

17.20.060 Lot size

In the CD-1 zone, except as provided in Section 17.104.050, minimum lot size shall be as follows:

1. *For a single-family dwelling, a lot shall be a minimum of five thousand four hundred (5,400) square feet.*
2. *Lots shall have a minimum of forty (40) feet of street frontage. This frontage shall be physically accessible.*
3. *Lot depth shall be ninety (90) feet.*

The lot size for the property in question is approximately 0.17 acres with sixty feet of street frontage on Seacrest Drive, and an average lot depth of over 133 feet.

17.20.070 Yards

Except as provided in Section 17.104.060, in the CD-1 zone, applicable requirements for yards shall be as follows:

- A. *The front yard shall be at least twenty (20) feet.*
- B. *Each side yard shall be a minimum of five feet, and the total of both side yards shall be a minimum of thirteen (13) feet, except that for corner lots, a side yard abutting a street shall be at least fifteen (15) feet.*
- C. *The rear yard shall be at least ten (10) feet, except that in such a required rear yard, storage structures (less than fifty (50) square feet), and other non-habitable structures may be built within five feet of the rear property line, provided that they are detached from the residence and the side yard setbacks are maintained. Such structures shall not be used as or converted for habitation, shall not be connected to any sewer system and shall not exceed sixteen (16) feet in height.*

The proposed structure will meet or exceed all required minimum yard setbacks.

17.20.080 Lot Coverage

In the CD-1 zone, buildings shall not occupy more than fifty (50) percent of the lot area.



Total impervious surface shall not exceed 65%. Staff finds this criterion has been met, as the total impervious surface is 41%.

17.20.090 Height of Buildings and Structures

In order to maximize the ocean and river view potential of lots in the CD-1 zone: East of Beach Loop Drive and south of Seventh Street SW, except as otherwise permitted in 17.20.100 Exceptions to height limitations, or pursuant to 17.20.090.B.1, no portion of any building or structure shall exceed a height of twenty-eight (28) feet, measured as provided in 16.42.010 Definition, "Height of building or structure."

The applicant has stated the maximum height of the structure will be 21' 3" which is less than the maximum allowed height of 28 feet.



Recommendations

Staff recommends approval of the Plan Review with the following conditions which are general conditions of approval for Zoning Compliance:

Essential

1. Approval of the plans is based on information submitted by the applicant. No other approvals are expressed or implied. Any changes to the approved plan shall be submitted, in writing, and approved by the Planning Director prior to implementation. **If changes are made to any plans or documents used to make a decision, those changes must be clearly denoted with written documentation describing the need for change. No change is considered approved unless written confirmation from the City approving the proposed change is received by the applicant or the property owner.*
2. Unless otherwise stated in this document, all four property corners must be located and properly marked prior to the first City inspection.
3. All state, federal, and city permits associated with the approval shall be obtained by the applicant prior to construction. **It is the property owner/applicant's responsibility to determine if additional permits from other agencies will be required. If additional permits are required, it is the responsibility of the property owner/applicant to obtain those permits.*
4. No preparation of the subject lot shall be allowed prior to issuance of a City Grading and Fill permit, signed by the authorizing designee of the City of Bandon.
5. All construction material and equipment shall be staged on site. No construction materials shall be stored in the City right-of-way.
6. No construction work shall be performed on Sundays or city holidays, except that a person may perform construction work on the person's own property, provided such construction activity is not carried on for profit or livelihood, between the hours of ten (10:00) a.m. and five (5:00) p.m. on Sundays and city holidays. No construction work shall be performed on Saturday before nine (9:00) a.m. or after seven (7:00) p.m. No construction work shall be performed before seven (7:00) a.m. or after seven (7:00) p.m. on weekdays (exclusive of holidays).
7. As-built plans shall be submitted to the City of Bandon upon completion of construction showing all components of the project and utility connections as built.

Electric

1. Three-inch conduit is required.
2. The meter shall be installed on the structure, facing the vehicular access or no more than five feet down the side of the structure nearest the vehicular access.
3. The electric meter shall be stainless steel and shall not be enclosed.
4. Electric meter must be accessible at all times, without locked doors, gates, enclosures, boxes or covers which deny access, including the keeping of animals in such a manner that access is denied or hazardous.



Public Works

1. Public Works Permit and Right-of-Way Permit must be obtained prior to any work commencing within the right-of-way.
2. Repair costs of any damage to City property or right-of-way, as a result of use during construction shall be the responsibility of the property owner and/or applicant.
3. A construction timeline shall be submitted and approved by the Public Works Director, prior to any construction, grading or preparation of the site.
4. Driveway and fill specifications shall be provided and approved by the Public works Director and/or City Engineer prior to any preparation of the site.
5. A staging plan for construction of the foundation system and the residence shall be proved and approved by the Public Works Department prior to any construction, grading or preparation of the site.
6. An on-site visit by Public Works will be required prior to the concrete surface installation.
7. Any necessary repairs to City property, infrastructure or right-of-way, must be submitted and approved by the Public Works Department prior to the commencement of repair work.
8. An Erosion Control Plan shall be provided and approved by the Public Works Director prior to any preparation of the site.

With Development of the Site

1. Any changes to the approved plan shall be submitted and approved by the Planning Department as an Amendment to the approved plan. **If Changes are made to any plans or documents used to make a decision, those changes must be clearly denoted with written documentation describing the need for the change. No change is considered approved unless written confirmation from the City approving the proposed change is received by the applicant or the property owner.*
2. Any changes to the approved preparation, construction or final stages of the approved plan shall be submitted, in writing, and approved by the Planning Department prior to implementation. **If changes are made to any plans or documents used to make a decision, those changes must be clearly denoted with written documentation describing the need for the change. No change is considered approved unless written confirmation from the City approving the proposed change is received by the applicant or the property owner.*
3. Driveway approach shall be hard surfaced (AC pavement or concrete) from the edge of the City street to a minimum of one foot (1') inside the property line. The driveway will meet the City standards, 10" of compacted ¾" gravel with 6" of 3800 PSI concrete for parts within the right-of-way.
4. Driveway approach, trenching, service connections, cleanouts and other underground construction shall be constructed in accordance with APWA standards and must be inspected and approved by the Public Works and Electric Departments.
5. Driveway approach forms must be inspected and approved by Public Works Department prior to pour.



6. The applicant shall be responsible for preparation and maintenance of the site to prevent tracking of soil or construction material or debris onto any rights-of-way. All public streets must be kept clean during the construction period. Clean-up costs shall be the responsibility of the property owner.
7. Property lines shall be clearly marked during all phases of ground preparation and construction.

Prior to Certificate of Occupancy

1. Certificate of Occupancy must be issued by the City prior to occupancy of the structure.
2. Certificate of Occupancy shall not be issued until conformance of all conditional of the approval has been verified.
3. Certificate of Occupancy will not be issued until repairs, as required by the City, to the City infrastructure or right-of-way is completed and acceptable by the Public Works Department.
4. Certificate of Occupancy will not be issued until all meter placements have been approved, in writing, by a representative of the Electric Department.
5. Certificate of Occupancy shall not be issued until final construction of all drainage is approved by the Public Works Director.

Other

1. All utilities are considered temporary until a Certificate of Occupancy has been obtained through the City. **Temporary services may be discontinued after a six-month period, unless special conditions warrant. It is the applicant's responsibility to submit, in writing, request for extension of temporary services.*
2. The applicant must adhere to all conditions and requirements set forth by the Coquille Indian Tribe, State Historic Preservation Office (SHPO) or both if required.
3. That the plans submitted in this Plan Review shall be in substantial conformance with work completed.
4. All proposals of the applicant shall become conditions of approval unless otherwise modified by the reviewing body.

Additionally, staff recommends site specific conditions of approval as follows:

PLAN REVIEW CONDITIONS OF APPROVAL:

1. No structure of the proposed development may exceed 28 feet in height.
2. Cornices, eaves, canopies, sunshades, gutters, chimneys, flues, belt courses, leaders, sills, pilasters, lintels, ornamental features and other similar architectural features shall not project more than eighteen (18) inches into a required yard.
3. Plan Review approval expires six months from the date of approval.
4. Plans submitted for Zoning Compliance approval shall be in substantial conformance with the plans reviewed and approved herein.



NOTICE OF PLAN REVIEW

Notice is hereby given that the City of Bandon has scheduled a Plan Review to consider a planning application requesting to site a single-family dwelling on a parcel on property zoned CD-1 in the City of Bandon.

Property Owner:	Caleb Lillie
Applicant(s):	Caleb Lillie
Application Number:	20-139
Property Location:	1133 Seacrest Drive (29S-15W-01BA/TL 200)
Proposal:	Request to site a single-family dwelling
Date of review:	February 11, 2021
Applicable Criteria List: (Bandon Municipal Code)	17.20 Controlled Development 1 (CD-1) Zone, and 17.120 Administration and Enforcement

The meeting is scheduled for Thursday, **February 11, 2021** at 2:00pm and will be conducted electronically through Zoom. Register in advance for this meeting:

<https://us02web.zoom.us/join/joinMeeting?z00duyprzkjHta3ZezUF2AtM2fHiN3IMmtc>

After registering, you will receive a confirmation email containing information about joining the meeting.

Plan Reviews are Limited Land Use Decisions and **do not require a public hearing**. This notice provides for a 14-day period for submission of written comments, to be considered during the plan review. Written comments may be submitted by US mail to the City of Bandon, P.O. Box 67, Bandon Or 97411, attn: planning; electronically to planning@cityofbandon.org; or deposited in the outdoor payment drop box that is located in the parking lot of City Hall, attn: planning. Please note the deadlines below:

- **5:00pm – February 11, 2021:** Deadline for all testimony (Electronic, hand delivered or US mail).



The ordinance criteria applicable to this application are available to review online in the Bandon Municipal Code at www.cityofbandon.org. Oregon law states that failure to raise an objection concerning this application, either in person or by letter, or failure to provide sufficient specificity to afford the decision maker an opportunity to respond to the issue, precludes your right of appeal to the Land Use Board of Appeals (LUBA) on that issue. Failure to specify which ordinance criterion the objection is based on also precludes your right of appeal to LUBA on that criterion. A copy of the application, all documents and evidence relied upon by the applicant, and applicable criteria are available for inspection at the City Planning Department, copies will be provided upon request, at reasonable cost. A copy of the staff report, if a staff report is prepared, will be available for inspection seven days prior to the hearing and will be provided at reasonable cost, if requested. All materials are available to review upon request, in the Bandon Planning Department, 555 Hwy 101, Bandon, Oregon 97411.

If you have questions or comments concerning this request, please contact the Planning Department by email planning@cityofbandon.org or phone (541) 347-7922.



COQUILLE INDIAN TRIBE

3050 Tremont Ave. North Bend, OR 97459
Telephone: (541) 756-0904 ~ Fax: (541) 756-0847
www.coquilletribe.org

January 6, 2021

City Of Bandon
Po Box 67
Bandon, OR 97411

Re: 20-139

Project location: 1133 Seacrest Dr., Bandon, Ore.

Thank you for the opportunity to comment on the proposal to site a single family dwelling at the above referenced property. The Coquille Indian Tribe concurs with the anticipatory finding of no historic properties/cultural resources effected. **Extreme caution is recommended.** If any known or suspected cultural resources are encountered during the work, ground-disturbing activities should cease and the landowner or contractor should contact our office immediately.

Please be aware that state statutes and federal law governs how archaeological sites are to be managed. 43 CFR 10 applies on tribal and federal lands, federal projects, federal agencies, as well as to federal actions and federally funded (directly or indirectly) projects. ORS 97.745 prohibits the willful removal, mutilation, defacing, injury, or destruction of any cairn, burial, human remains, funerary objects, or objects of cultural patrimony of a Native Indian. ORS 358.920 prohibits excavation, injury, destruction, or alteration of an archaeological site or object, or removal of an archaeological object from public or private lands. If archaeological materials are discovered, uncovered, or disturbed on the property, we will discuss the appropriate actions with all necessary parties.

Thank you again and feel free to contact me at (541) 808-5554 if you have any questions.

Best,

A handwritten signature in black ink, appearing to read 'K Rippee', written in a cursive style.

Kassandra Rippee, M.A., M.L.S.
Tribal Historic Preservation Officer

CRT21008



Planning Permit Application

CITY OF BANDON PLANNING
 P.O. BOX 67
 555 HWY 101
 BANDON, OR 97411
 P:(541) 347-2437
 F:(541) 347-1415

Permit Number:

APPLICATION TYPE (select all that apply)		
<input type="checkbox"/> Annexation*	<input type="checkbox"/> Land Use Review*	<input type="checkbox"/> Subdivision*
<input type="checkbox"/> Certificate of Appropriateness (CoA)*	<input type="checkbox"/> Partition*	<input type="checkbox"/> Vacation*
<input type="checkbox"/> Comprehensive Plan or Zone Amendment*	<input checked="" type="checkbox"/> Plan Review (PR)	<input type="checkbox"/> Variance*
<input type="checkbox"/> Conditional Use Permit (CUP)*	<input type="checkbox"/> Planned Unit Development (PUD)*	<input type="checkbox"/> Zoning Compliance (ZC)
<input type="checkbox"/> Floodplain Development*	<input type="checkbox"/> Property Line Adjustment (PLA)*	<input type="checkbox"/> Other <u>New Home*</u>
* Pre-application required		Total Fees: \$

I. PROJECT LOCATION

Street Address: 1133 SEACREST Bandon

Map Number / Tax Lot(s): 29-15-01 BA / 200 Zone: _____ Floodplain: Yes No

II. APPLICANT'S INFORMATION (applicant is the primary party responsible for development)

Applicant's Name: Caleb Lillie Phone: 541-260-3369
 E-Mail: _____

Applicant's Mailing Address: 93284 Lillie drive Myrtle Point OR 97458

III. PROPERTY OWNER'S INFORMATION

Property Owner's Name: SAME AS ABOVE Phone: _____
 E-mail: _____

Mailing Address: _____

IV. OTHER INFORMATION (APPLICANT'S REP, SURVEYOR, ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT, ETC)

Title:	Name:	Phone:
Email:		
Title:	Name:	Phone:
Email:		
Title:	Name:	Phone:
Email:		

V. PROJECT DESCRIPTION

Use: Residential Commercial Other _____

*Please attach a short narrative that describes your proposed project and indicates the proposed use.

New Home

VI. SITE PLAN: Please see our "How to Create a Site Plan" and sample site plan document for requirements and tips on how to create your site plan. Plans must be drawn to scale and may be submitted electronically; printed copies must be submitted on 11x17, ledger size paper (larger or smaller paper sizes will not be accepted).

VII. PROPERTY OWNER SIGNATURE/AUTHORIZATION

- I have read the application and the attached documentation and I understand that my application may be delayed or deemed incomplete if I have provided insufficient information and documentation to allow for approval.
- I certify that the information provided in this application, including all submittals and attachments, is true and correct to the best of my knowledge.
- I understand and agree that all required inspections will be requested 2 business days in advance, and it is the applicant's responsibility to ensure required inspections have been requested, completed, and approved.
- I authorize the City of Bandon or its acting agent, to enter onto the subject property, as described in section "I. Project location".
- I authorize the following party(s) to act as applicant in regard to the attached application for the subject property described above.

X Applicant's Signature: Caleb Little **Date:** 12-31-20

Property owner's signature required if applicant is not the property owner

X Property Owner's Signature: Caleb Little **Date:** 12-31-20

Development Disclosure

The City of Bandon is obligated to report all ground disturbances within the City of Bandon to the Coquille Indian Tribe. Property owners and applicants must adhere to all conditions and requirements set out by the Coquille Indian Tribe, State Historic Preservation Office (SHPO) or both if required. Please be aware that state statutes and federal law govern how archaeological sites are to be managed. ORS 97.745 prohibits the willful removal, mutilation, defacing, injury, or destruction of any cairn, burial, human remains, funerary objects, or objects of cultural patrimony of a Native Indian. ORS 358.920 prohibits excavation, injury, destruction, or alteration of an archaeological site or object, or removal of an archaeological object from public or private lands.

It is the property owner and applicant's responsibility to determine if additional permits from other agencies will be required, including but not limited to: Oregon State Building Codes, Oregon State Department of Environmental Quality, FEMA, Oregon State Fish and Wildlife and U.S. Fish and Wildlife. If additional permits are required, it is the responsibility of the property owner/applicant to obtain such permits and comply with their conditions of approval.

It is the property owner/applicant's responsibility to provide the City of Bandon all necessary legal documentation related to the property, including but not limited to: proof of ownership, receipts, deed restrictions, vacation records, easement records, etc.

I acknowledge, understand, and agree, that all relevant documentation will be provided to the City of Bandon, and that all required permits and consent will be obtained prior to the start of construction, with all conditions of approval adhered to.

X Caleb Little **12-31-20**

Property Owner's Signature (Property owner's signature required if applicant is not the property owner) **Date**

X Caleb Little **12-31-20**

Applicant's Signature **Date**

Staff's Signature of Intake: _____ Date: _____

Staff's Signature of Completeness: _____ Date: _____

Staff's Signature of Approval: _____ Date: _____

Submittal Requirements:

1. Completed Pre-Application with summary notes from the Planning Department (if applicable)
2. Complete Planning Permit application (including fees and applicable property records)
3. Signed Development Disclosure
4. Completed Submittal Requirement sheet

Site Plan Requirements (please check that you have completed each of the following)

- Setbacks on all sides of the property (must be marked from the closest structure to the property line)
- Property line must be clearly marked on all sides - if property corners cannot be determined a survey will be required.
- Location of all buildings and proposed building or addition
- Location of all mechanical equipment and proposed equipment (HVAC, propane tanks and enclosures - these cannot be located in the setback area)
- Fences, patios, sidewalks, (if being built along with the construction of a building)
- Decks, steps, porches (these cannot be located in the setback)
- All off-street parking
- Location of the front entrance and all exterior doorways
- Location & material of the driveway
- Direction of roof drainage
- Drywell, if required (must be engineered)
- Location of electric meter base (on the front or no farther than 5 feet down the side)
- Proposed water and sewer line locations
- Water shut off valve must be located beside the water meter box; 6" sewer clean out must be at the property line
- Square footage of the lot, structures including garage (1st & 2nd floors noted separately), and percentage of impermeable surface. (Impermeable surfaces must be shown on the site plan)

Design Feature Requirements (Please check your selections)

Homes in the R-1 and R-2 zones require a minimum of 6 (at least 3 on the face of the home)

Homes in the CD zones require a minimum of 8 (at least 4 on the face of the home)

- | | |
|--------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------|
| <input checked="" type="checkbox"/> Roof pitch at or greater than 3/12 | <input type="checkbox"/> Bay windows |
| <input checked="" type="checkbox"/> Covered porch - (minimum of 25 square feet) | <input type="checkbox"/> Cupolas |
| <input checked="" type="checkbox"/> Tile or Architectural grade shingles (not composition shingle) | <input type="checkbox"/> Hip roof |
| <input checked="" type="checkbox"/> Off set of the building face or roof (at least one foot, minimum of 2 feet in cd-1 & cd-2 zones) | <input checked="" type="checkbox"/> Pillars or posts |
| <input checked="" type="checkbox"/> Eaves with a minimum projection of six (6) inches | <input type="checkbox"/> Mullioned windows |
| <input checked="" type="checkbox"/> Horizontal lap siding, cedar shake or shingle on 100% of the exterior | <input type="checkbox"/> Window shutters |
| <input type="checkbox"/> Recessed entry area (minimum depth of three feet) | <input type="checkbox"/> Clerestory windows |
| <input checked="" type="checkbox"/> Garage (constructed with exterior finish materials matching the residence) | <input type="checkbox"/> Dormers |
| <input checked="" type="checkbox"/> Combination of cedar shake and shingle siding or lap siding with stone | <input checked="" type="checkbox"/> Gables |

Additional Required Plans

- Floor plan - Including garage (before and after drawings must be included for remodel/additions)
- Elevation of all structures - All sides must show direction, dimensions, height, design features and depth of eaves/gutters.
- Grade of property and/or grading plan
- Foundation plan for all construction - (for a manufactured home the slab & runner system)
- DEQ septic system permit & plan drawings - (if applicable)
- Geotechnical report - (if applicable)
- Drainage plan - (with engineered drawings if applicable)
- Engineered foundation - (if applicable)

YOUR APPLICATION WILL BE DEEMED INCOMPLETE IF YOUR SITE PLAN FAILS TO LIST ALL REQUIRED INFORMATION, INCLUDING DESIGN FEATURE REQUIREMENTS WHICH MUST ALSO BE SHOWN IN YOUR SUBMITTED ELEVATION PLANS.

HILL & DALE ENGINEERING, LLC
P.O. BOX 95
VIDA, OREGON 97488
541-968-5056
psh424@gmail.com

Page: 1/7

Date: 12/09/20

Client: Caleb Lillie
93284 Lillie Drive
Myrtle Point, OR 97458

Location: 1133 Seacrest Dr., Bandon

Job Description: Structural

Job Number: 124-20

Design Criteria:

- OSSC 19 and ORSC 17
- SDC D
- Exposure D
- 135 mph wind
- Roof Snow Load=20psf
- Roof Dead Load=15psf
- Floor Dead Load=10psf
- Floor Live Load=40psf
- 1500psf soil bearing pressure

*The following items are not in the scope of work from this office:

*Geotech by others.

*Waterproofing by others for all moisture and water issues.

*Trusses by others. Truss packet not available at time of review.



EXPIRATION DATE: 01/15/21

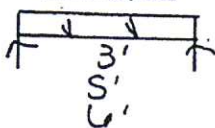
VERTICAL CALCS

HORS 2-2x6 MIN UNO

GE 2-2x6 MIN

GARAGE DOOR 4x12 MIN

RLG



$$22(37) = 814 \frac{lb}{ft}$$

$$\Delta = \frac{15}{25} = \frac{3}{5}$$

$V = 1221 lb$	$2035 lb$	$2442 lb$
$M = 916 lbft$	$2544 lbft$	$3663 lbft$
$I_{16} =$	$28.62 in^4$	$49.45 in^4$

$$A = \frac{2035(3)}{2442} / \frac{2(207)}{196} = \frac{14.75 in^2}{18.69 in^2}$$

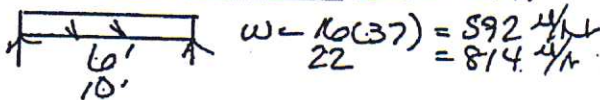
$$S = \frac{2544(12)}{3663} / \frac{900(1.15)(13)}{875(1.15)} = \frac{22.69 in^3}{43.68 in^3}$$

3' : 2-2x6 MIN

8' : 4x8 MIN

6' : 6x8 MIN

PORCH BEAMS (WORST CASE)



$$w = 10(37) = 592 \frac{lb}{ft}$$

$$\frac{22}{22} = 814 \frac{lb}{ft}$$

$$\Delta = \frac{3}{5}$$

$V = 1776 lb$	$4070 lb$
$M = 2664 lbft$	$10175 lbft$
$I_{16} = 35.96 in^4$	$\frac{228.94 in^4}{203.5 in^4}$

$$A = \frac{1776(3)}{4070} / \frac{2(196)}{305} = \frac{13.6 in^2}{20.02 in^2}$$

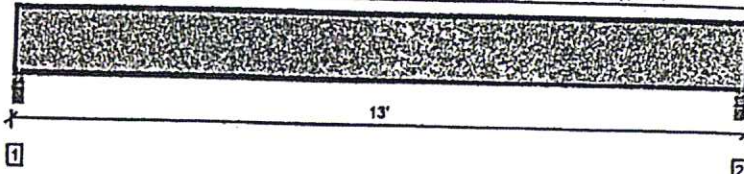
$$S = \frac{2664(12)}{10175} / \frac{875(1.15)}{2760} = \frac{31.77 in^3}{44.24 in^3}$$

6' : 6x8 MIN

10' : 5 1/2 x 9 GL MIN

Overall Length: 13'

3



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDL	Load Combination (Pattern)
Member Reaction (lbs)	443 @ 2 1/2"	1041 (2.25")	Passed (43%)	1.00	1.0 D + 1.0 L (All Spans)
Shear (lbs)	430 @ 3 1/2"	1560	Passed (28%)	1.00	1.0 D + 1.0 L (All Spans)
Moment (Ft-lbs)	1372 @ 6' 6"	3160	Passed (43%)	1.00	1.0 D + 1.0 L (All Spans)
Live Load Defl. (in)	0.118 @ 6' 6"	0.315	Passed (L/999+)	--	1.0 D + 1.0 L (All Spans)
Total Load Defl. (in)	0.153 @ 6' 6"	0.629	Passed (L/988)	--	1.0 D + 1.0 L (All Spans)
TJ-Pro™ Rating	53	50	Passed	--	--

System : Floor
 Member Type : Joist
 Building Use : Residential
 Building Code : IBC 2015
 Design Methodology : ASD

- Deflection criteria: LL (L/480) and TL (L/240).
- Bracing (Lu): All compression edges (top and bottom) must be braced at 4' 2 3/8" o/c unless detailed otherwise. Proper attachment and positioning of lateral bracing is required to achieve member stability.
- A structural analysis of the deck has not been performed.
- Deflection analysis is based on composite action with a single layer of 23/32" Weyerhaeuser Edge Gold™ Panel (24" Span Rating) that is nailed down.
- Additional considerations for the TJ-Pro™ Rating include: None

Supports	Bearing Length			Loads to Supports (lbs)			Accommodated
	Total	Available	Required	Dead	Live	Total	
1 - Stud wall - SPF	3.50"	2.25"	1.75"	104	347	451	1 1/4" Rim Board
2 - Stud wall - SPF	3.50"	2.25"	1.75"	104	347	451	1 1/4" Rim Board

• Rim Board is assumed to carry all loads applied directly above it, bypassing the member being designed.

Loads	Location (Start)	Spacing	Dead (0.20)	Live (40.0)	Comments
1 - Uniform (PSF)	0 to 13'	16"	12.0	40.0	Residential - Living Area

Weyerhaeuser Notes

Weyerhaeuser warrants that the sizing of its products will be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties related to the software. Refer to current Weyerhaeuser literature for installation details. (www.woodbywy.com) Accessories (Rim Board, Blocking Panels and Squash Blocks) are not designed by this software. Use of this software is not intended to circumvent the need for a design professional as determined by the authority having jurisdiction. The designer of record, builder or framer is responsible to assure that this calculation is compatible with the overall project. Products manufactured at Weyerhaeuser facilities are third-party certified to sustainable forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC ES under technical reports ESR-1153 and ESR-1387 and/or tested in accordance with applicable ASTM standards. For current code evaluation reports refer to http://www.woodbywy.com/services/a_CodeReports.aspx. The product application, input design loads, dimensions and support information have been provided by Forte Software Operator



Forste Software Operator	Job Notes
Pamela Hillstrom Hill @ Dale Engineering (541) 868-0667 psh424@gmail.com	

12/12/2016 1:58:40 PM
 Forte v5.1, Design Engine: V6.5.1.1

VERTICAL CALCS

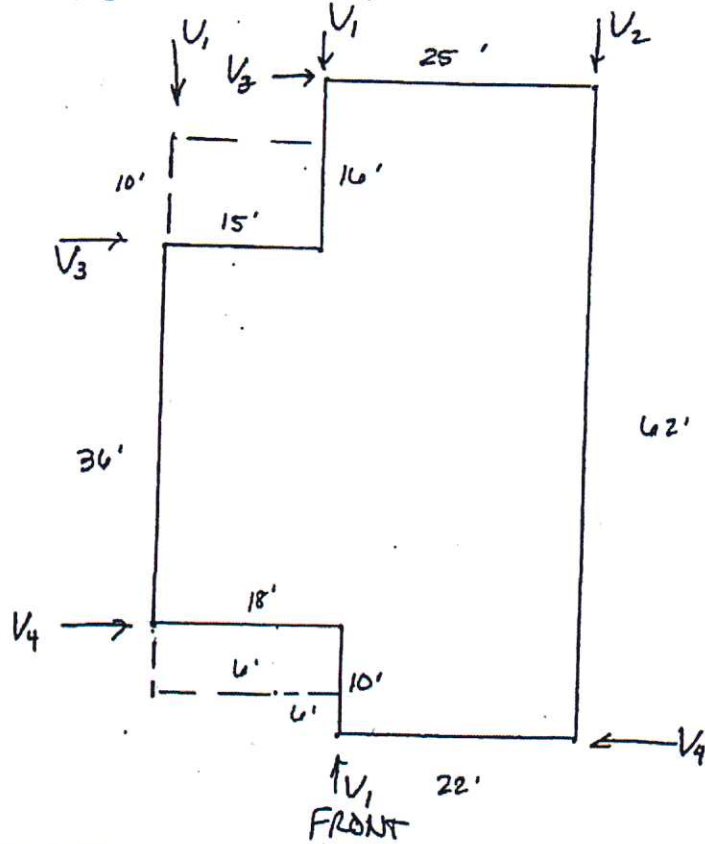
FOUNDATION

MIN. 6" STEM w/ MIN. 12" FOOTING @ PERIMETER
 MIN. 12" STRIP FOOTINGS @ INT. w/ PONY WALLS
 PORCH FOOTINGS: $4070/1350 = 3.015K^2 = 24" \text{ MIN} \times 12" \text{ DEEP}$
 PT 4x6 PORCH BEAMS w/ 2x6 @ 24" O.C. JOISTS (OK)

LATERAL CALCS

WIND: $P_A = 36.3 \sqrt{6} = 28.1 \text{ PSF} (1.47) = 41.3 \text{ PSF}$ ~~EXP. X D~~
 $P_B = 5.9 = 4.6 \text{ PSF} = 6.8 \text{ PSF}$ - 135 MPH WIND
 $P_C = 26.3 = 20.4 \text{ PSF} = 30 \text{ PSF}$ - SDC D
 $P_D = 5.9 = 4.6 \text{ PSF} = 6.8 \text{ PSF}$ - PITCH = 6:12
 $q = 3'$

SEISMIC: $V = 1.0 \frac{1.422}{6.5} (1) w = .25 = .18 w$
 $= .209 w / .4 = .44 w$



LATERAL CALCS

F/B 41.3 30
 $V_w = (4(6) + 3(1.5))(28.1) + 20.4(4(34) + 34(8)) = ~~8430~~ 13417 \text{ lb}$
 $V_s = ~~773~~ (2S)(48.5(12) + 54(3) + 6(3) + 6S(26.5)) = ~~773~~ 11923 \text{ lb}$

S/S
 $V_w = 4(6) \frac{28.1}{41.3} + 20.4(4(56) + 4.6(11(49) + 6(8) + 6(7) + 6.5(4.5))) = ~~8270~~ 12187 \text{ lb}$

V1 CALCS

$V_1 = \frac{13417}{9273} (1.5) = 4215 \text{ lb}$ 6709 lb
 $U_1 = \frac{4215}{6709} / 7 + 6 + 8 + 8 + 7.5 + 10 = 107 \frac{1}{4} \text{ k}$ 157 1/4 k

OTM = $\frac{107(8)(7)}{157}$

6	= 5992	lb	8792	lb
4.5	= 6132	lb	7536	lb
7.5	= 4280	lb	5652	lb
7.5	= 6428	lb	9420	lb
10	= 8568	lb	12560	lb

$RM = .6(15(4.5)(7)^2(1.5) + 10(8)(7)(1.5)) = 4373 \text{ lb}$
 $= 4104 \text{ lb}$
 $= 3075 \text{ lb}$ 2491 lb
 $= 7020 \text{ lb}$
 $= 8250 \text{ lb}$

UPLIFT = $5992 - 4373 = 2319 \text{ lb}$
 $8792 - 4373 = 6319$ 4104
 $7536 - 4104 = 5720$ 3075
 $5652 - 2491 = 7020$ 7020
 $9420 - 4912 = 3348$ 8250
 $12560 - 8250 = 4310$

V1: 7' + 6' + 5' = 18' 47.5" WALLS
 1/2" CDXOR 7/16" OSB ORT III
 8d NAILS
 6" O.C. P.F. BLD
 12" O.C. FIELD
 NO ADD. ANCH. REQ

V2 CALCS

$V_2 = 4215 \text{ lb}$ 6709 lb
 $U_2 = \frac{4215}{6709} / 16.5 + 7.75 + 7.25 = 78 \frac{1}{4} \text{ k}$ 139 1/4 k

OTM = $\frac{78(16.5)(8)}{139}$

8.75	= 12936	lb	18348	lb
7.25	= 5688	lb	7730	lb
15.75	= 12844	lb	8062	lb
			17514	lb

$RM = .6(15(4.5)(16.5)^2(1.5) + 10(8)(16.5)(1.5)) = 24298 \text{ lb}$
 $= 7978 \text{ lb}$ 9417
 $= 6465 \text{ lb}$
 $= 2420 \text{ lb}$ 2046 lb

V2: 16.5' + 8.75' + 7.25' + 16.5' = 48.5" WALLS
 1/2" CDXOR 7/16" OSB ORT III
 8d NAILS
 6" O.C. P.F. BLD
 12" O.C. FIELD
 NO ADD. ANCH. REQ

UPLIFT = NEC: $9730 - 9417 = 38 \text{ lb}$
 $8062 - 6465 = 220 \text{ lb}$

8.25
 7.25

LATERAL CALCS

V₃: 2.5' + 2.5' + 4' + 7' + 5' WALLS

1/2" CD OR 1/4" OSB OR 1/4"
 8d NAILS
 3" O.C. P.F. BLD
 12" O.C. FIELD
 HDU 4 W / SSTB 16

V₃ CALCS 12187

$$V_3 = \frac{8270 (LS)}{2272} = \frac{4435}{4637} \text{ LL } 6094 \text{ LL } 5962 \text{ LL}$$

$$U_3 = \frac{4637}{6094} / (2.5 + 2.5 + 4 + \frac{7+5}{8}) = \frac{221 \frac{1}{4} \text{ kft}}{290 \text{ kft}} = \frac{353 \frac{1}{4} \text{ kft}}{464 \frac{1}{4} \text{ kft}}$$

$$OTM = \frac{221(8)(2.5)}{290} = \frac{4420 \text{ LLK}}{5840 \text{ LLK}} \frac{5800 \text{ LLK}}{9280 \text{ LLK}} \frac{11600 \text{ LLK}}{11600 \text{ LLK}}$$

$$RM = \frac{16(15(3)(2.5)^2(LS) + 10(8)(2.5)^2(LS))}{4^2 + 4^2 + 5^2} = \frac{234 \text{ LLK}}{738 \text{ LLK}} = \frac{2871 \text{ LLK}}{1465 \text{ LLK}}$$

$$UPLIFT = \frac{5800}{4420 - 234} = \frac{16240}{15440 - 2871} = \frac{11600}{11600 - 1465} = \frac{1674 \text{ LL}}{1975 \text{ LL}} \frac{2226 \text{ LL}}{2081 \text{ LL}} \frac{1910 \text{ LL}}{2027 \text{ LL}}$$

V₄: 4' + 4' + 3' + 3' WALLS
 1/2" CD OR 1/4" OSB OR 1/4"
 8d NAILS
 2" X 8" O.C. P.F. BLD
 12" O.C. FIELD
 HDU 4 W / SSTB
 HDU 4 W / SSTB 24

V₄ CALCS

$$V_4 = \frac{4135}{4637} \text{ LL } 6094 \text{ LL } 5962 \text{ LL}$$

$$U_4 = \frac{4135}{6094} / (4 + 4) + 3 + 3 = \frac{295 \frac{1}{4} \text{ kft}}{321 \frac{1}{4} \text{ kft}} = \frac{393 \frac{1}{4} \text{ kft}}{435 \frac{1}{4} \text{ kft}} = \frac{580 \frac{1}{4} \text{ kft}}{580 \frac{1}{4} \text{ kft}}$$

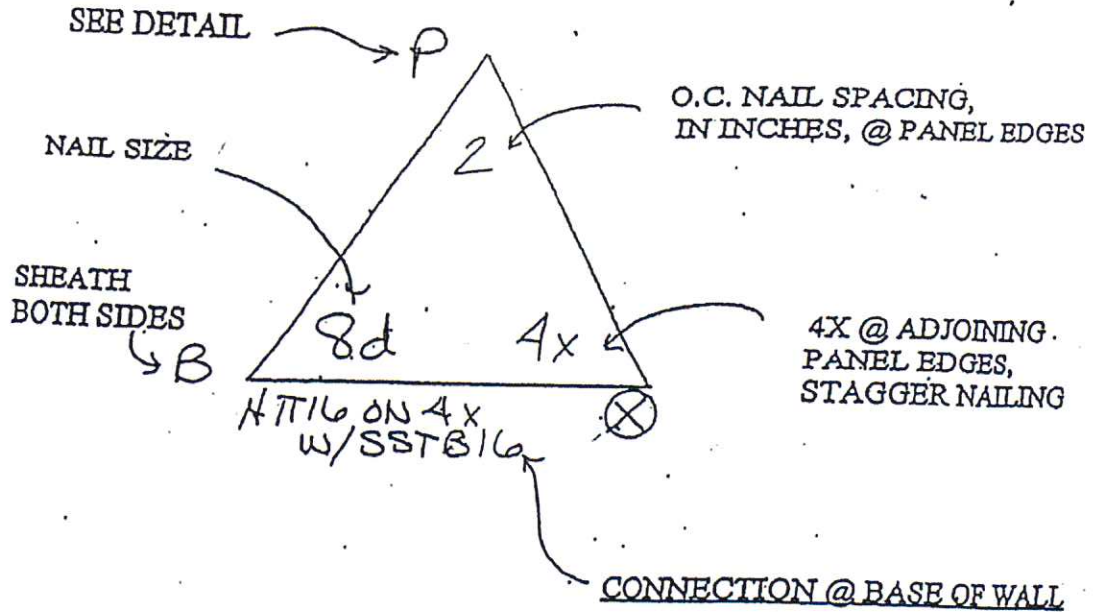
$$OTM = \frac{321(4)(8)}{435} = \frac{10592 \text{ LLK}}{7444 \text{ LLK}} \frac{13920 \text{ LLK}}{10440 \text{ LLK}}$$

$$RM = \frac{16(15(3)(4)^2(LS) + 10(8)(4)^2(LS))}{3^2 + 3^2} = \frac{601 \text{ LLK}}{338 \text{ LLK}}$$

$$UPLIFT = \frac{13920}{10592 - 601} = \frac{2478 \text{ LL}}{7444 - 338} = \frac{2535 \text{ LL}}{10440} \frac{3330 \text{ LL}}{3367 \text{ LL}}$$

SHEAR WALL SYMBOL KEY

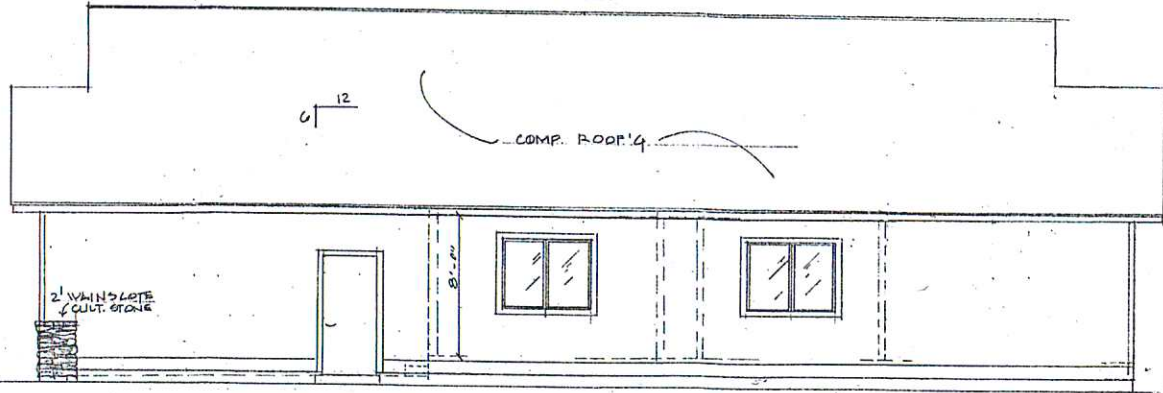
1/2" CDX OR 7/16" OSB OR T1-11
BLOCK PANEL EDGES
12" O.C. FIELD



- (X) = HOLDOWN LOCATION ON PLANS
- (-) = STRAP LOCATION ON PLANS

15 GAUGE STAPLE EQUIVALENTS

<u>8d NAILS</u>	<u>STAPLES</u>
6"	4"
4"	2 1/2"
3"	4X @ ADJOINING PANEL EDGES
2"	4X @ ADJOINING PANEL EDGES
	NO EQUIVALENT



RIGHT EL 1/4"

GENERAL NOTES

These plans are drawn to meet the 2014 Oregon Residential Specialty Code. In the event of a conflict between applicable codes and regulations and reference standards of these plans and specifications, the more stringent provisions shall govern. Whether called for or shown on the plans, good building practices and compliance to all codes shall prevail.

The general contractor shall furnish and install all materials and equipment shown, listed, or described on the drawings or in the specifications, subject to conditions or exceptions that may be made by the owner. He should perform all work and abide by all restrictions and requirements of city of Florence.

The contractor shall verify all dimensions on the job site prior to ordering material or commencing work. Plans may shrink during the copying process; written dimensions shall take precedence over scaled dimensions.

Designer has not been engaged for construction supervision of any kind and assumes no responsibility to ensure that construction conforms with these plans, nor has any responsibility for construction means, methods, techniques, sequences, procedures or safety precautions in connection with the work.

Engineering will take precedence over designer drawings and shall be designed with accepted engineering practice.

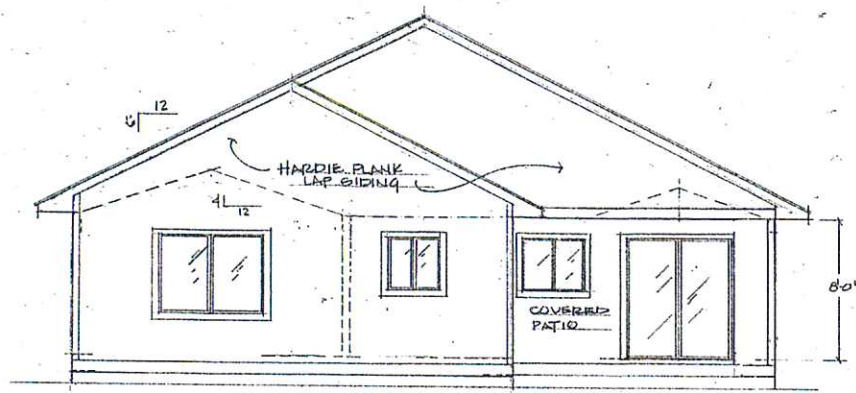
These plans do not include plumbing diagrams. System to be designed and installed by a qualified contractor as per code. Client to choose all makes and models for plumbing and type of shower(s), tile or fiberglass.

Chapter 11. Energy Efficiency Envelope Enhancement Measure 2
 Exterior walls: 2x6 #2 studs @16" o.c. R21 insulation; and Vaulted ceilings with cantilevered heel trusses R38 insulation minimum, and Flat ceilings with cantilevered heel R49 insulation, and Floor framing R38 insulation, and Windows U-0.30 and Doors U-0.20

Along with
Conservation Measure C: Ductless heat pump. Primary zone of house mini-split ductless heat pump. Conventional electric resistance heating may be provided for any secondary zones in the dwelling or as otherwise noted in energy code.

Electric panel and meter to be field located as well as hose bibs.

Client to choose cabinet design and style for all cabinets/countertops.



REAR EL 1/4"

ROOF FRAMING

Roof Pitch:
6/12

Roof Framing:

Truss design, engineering and a stamped copy of plans shall be provided by a truss manufacturer. Field verify all truss sizes.

Manufactured cantilevered scissor and flat bottom chord trusses as noted on plans at 24" o.c. Trusses are not to bear on interior partition walls unless so designed. Trusses shall be connected to wall plates by the use of approved connectors, such as Simpson H2.5A or as otherwise noted, and installed in accordance with the manufacturer's specifications. Truss members shall not be drilled, cut, notched or altered in any manner unless so designed. Design trusses for coastal winds.

Builder is to verify all truss dimensions including exact slope, required heel height, overhang condition and special loading. Truss dimensions shown in these plans are intended to be approximate only.

Provide attic access hatch, 22" x 30" minimum opening, shall be provided to any attic area having a clear height over 30"

Vent with continuous ridge vent and screened vents at eave.

ROOF ASSEMBLIES

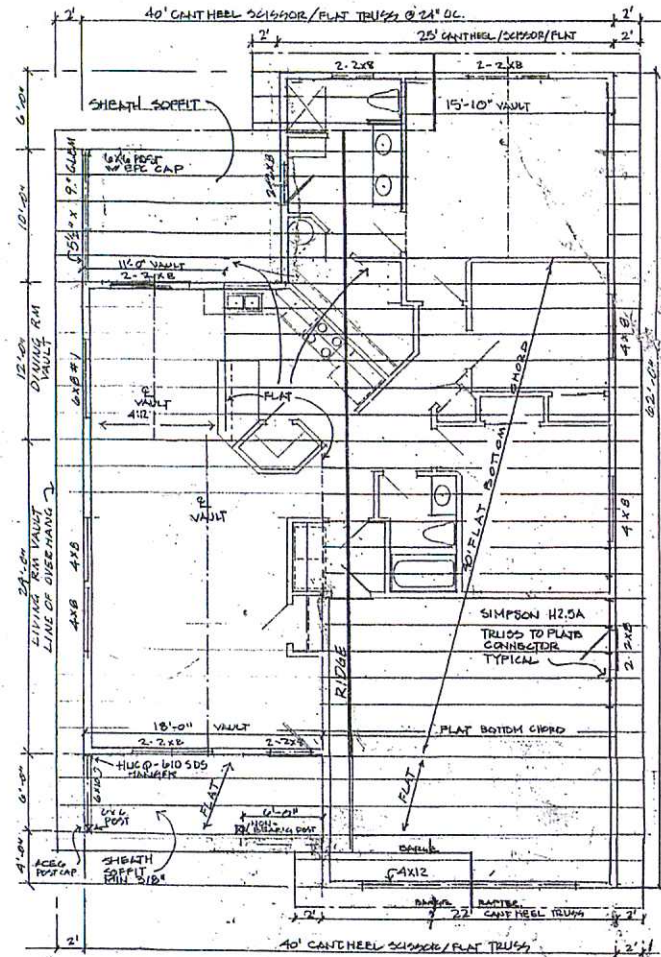
Roof Covering:

Composition roofing or equal with matching ridge caps. Approved weather resistant mineral surfaced rolling roofing or other, over 1/2" APA rated sheathing, Exposure 1 or equal. Nail 8d at 6" o.c. all edges and boundary, 12" o.c. in field unless otherwise noted. Orient long dimension of panels perpendicular to framing. Stagger joints 4".

Flashing and counterflashing shall be made with corrosion resistant metal (#26 galvanized sheet gage, copper or stainless steel)

Gutters and downspouts to be installed.

Insulate all flat ceilings with R49 fiberglass batt or loose fill fiberglass, cellulose or rock wool insulation. Insulate all vaulted ceilings with R38 minimum.



ROOF FRAMING 3/16" = 1'-0"

5

ROOF FRAMING and ROOF COVERING
 6/12 roof pitch
 Cantilevered hwd Mtg. trusses at 24" o.c.
 Composition roofing with approved weather
 resistant mineral surfaced rolling roofing
 over 1" APA rated sheathing, Exposure 1 or equal.
 R-49 insulation and min R38 at vaults

WALLS AND CEILINGS
 Plaster Height: 8'0"
 2 x 6 #2 studs @ 16" o.c., 2x4 studs interior framing.
 R-21 insulation

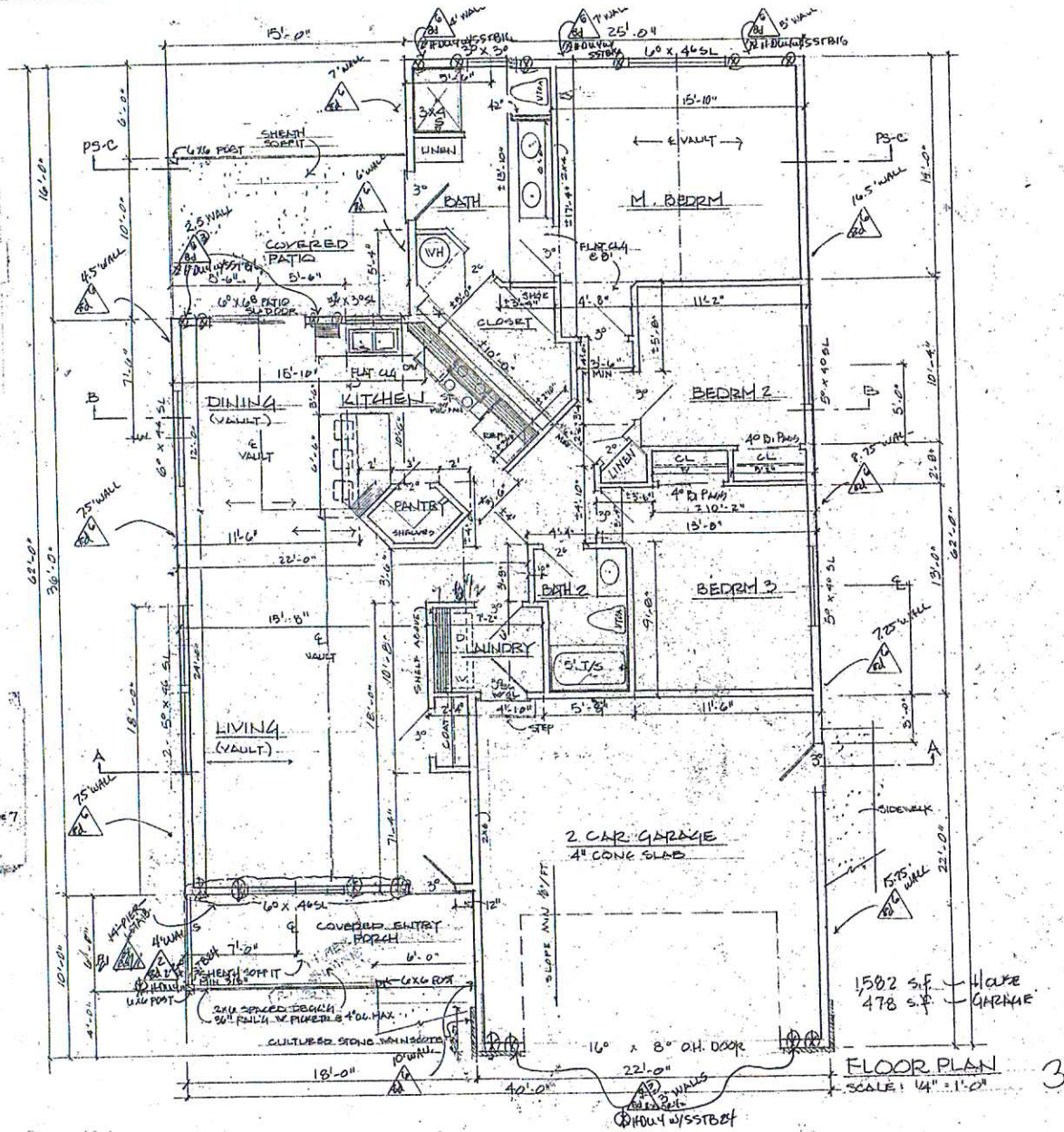
EXTERIOR WALL COVERINGS
 HardiePlank horizontal lap siding and HardieShingle at front gable
 Approved weather barrier over 1" APA sheathing. Wainscote with
 cultured stone as shown.

FLOOR FRAMING
 11/7/8" TJI/110 @ 16" o.c. UNO with 3/4" T and G APA rated
 sheathing over
 R38 Insulation
 6-mil-thick polyethylene moisture barrier ground cover

FOUNDATION
 Footing: 12" x 6" with 2# 4 rebar
 Foundation wall: 6" thick with #4
 1" diameter anchor bolts embed 10" w/ BPL/2" washers at 40" o.c.
 4" Concrete slab at garage, 3,000 psi in 28 days.

SHEAR
 1" nominal APA sheathing
 at exterior walls
 w/ 8d common OR galvanized box
 nail @ 8" o.c.
 unblecked panel edge,
 12" o.c. field UNO
 SHEAR WALL SYMBOL KEY Page 7

See detail page 18



FLOOR PLAN 3
 SCALE: 1/4" = 1'-0"

WALL CONSTRUCTION

Wall Framing:

Plate Height: 8'0". Top plates shall be doubled on all walls except where otherwise noted. Overlap corners and intersections with bearing partitions. Bottom (sole) plate shall be a minimum 2 x with a width equal to the studs. Interior load-bearing walls shall be constructed, framed and fire-blocked as specified for exterior walls.

All structural lumber shall be #2 or Standard or Better DF (Douglas fir) or equal unless otherwise noted. 2 x 6 #2 stud spacing shall be a minimum of 16" o.c. 2 x 4 interior non-bearing studs at 16" o.c. can be copped with a single top plate. Insulation at exterior walls shall be R 21 Kraft faced high density fiberglass batt insulation. Staple to inside (warm) surface of studs in all walls separating heated from unheated spaces.

Windows/Doors:

Standard header height as noted on plans/see sections. Doors and windows to align. Cripples under all headers shall be continuous to sole plates. Window and door openings are to be flashed above all wood trim and caulked.

All windows are to be vinyl. Sizes as noted on floor plans. Refer to manufacturer's specifications for precise dimensions of rough openings and installation instructions. Each bedroom shall have an egress window with a sill height of no more than 44" above the floor. Verify with manufacturer that window meets egress requirements. Glass within 24" of a door and/or within 18" of the floor or a walkway shall have tempered glazing. Windows: U=0.30 or less.

Exterior door sizes as noted. Doors with glass shall be double glazed insulating units with tempered glass. Doors, Other than main entry: U=0.20 or less Main entry door (max 24 sq ft).

Door between garage and living area shall be 20-minute fire-rated steel door or a minimum of 1 3/4" solid core wood doors or code approved equivalent and self-closing mechanisms. Overhead garage door to be insulated galvanized steel. Automatic garage door opener, if provided, shall be listed in accordance with UL325.

Miscellaneous Framing Notes:

Provide a smoke detector in each bedroom, and in the immediate vicinity outside of the bedrooms 4-12" from ceiling.

WALL COVERING

Interior covering:

Gypsum board to be a minimum of 1/2" at ceilings and walls. 1/2" green board (water resistant gypsum backing board) to be used on bathroom walls.

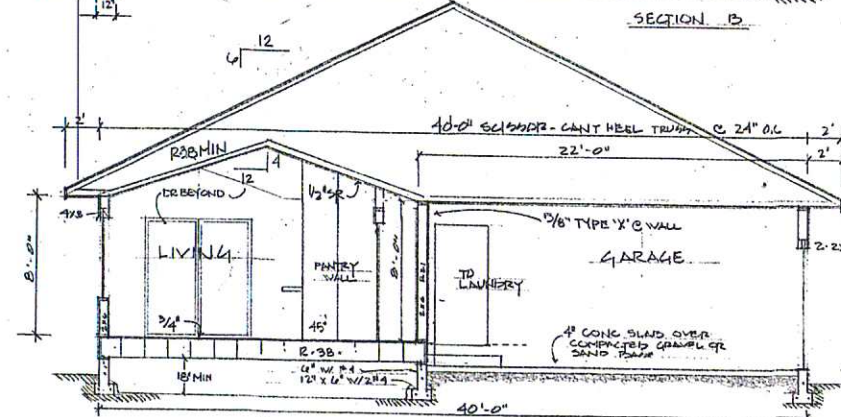
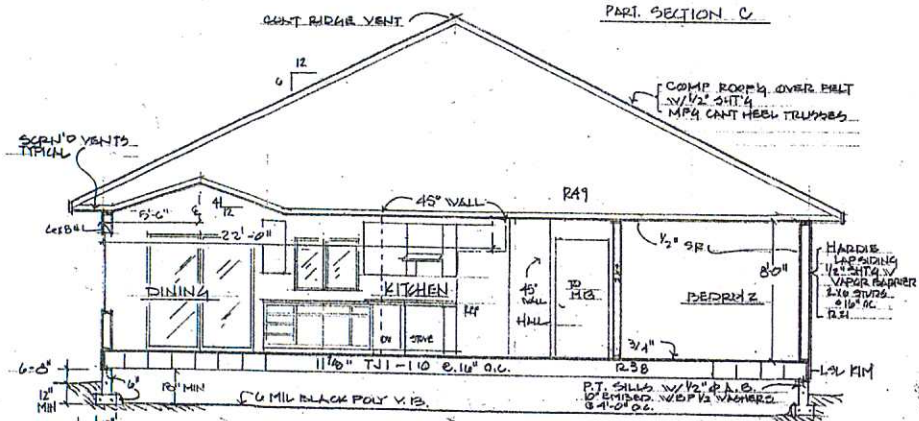
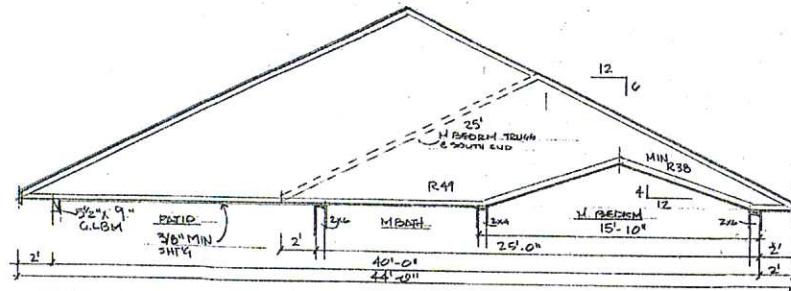
Provide a 1 hour fire wall with 5/8" type "X" sheetrock between garage and living areas.

Exterior Covering:

1/2" APA rated sheathing, Exposure 1. Nail minimum 8d @ 6" o.c. at all panel edges, 12" in field unless noted otherwise. See Engineering for all shear wall notations.

Apply a water resistive barrier to sheathing at all exterior walls. It must be manufactured in a manner to enhance drainage and meets the 75% drainage efficiency requirement of ASTM E2273 or other recognized national standards. Apply as per mfg specifications.

James Hardie siding products at all exterior walls as shown on elevations. HardiePlank lap siding with belly band trim. HardieShingles at front gable.



SECTION A 14'-10"

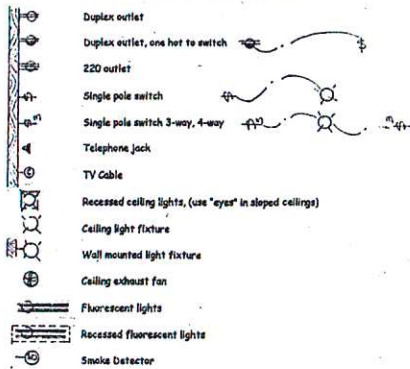
6

Chapter 11. Energy Efficiency Envelope Enhancement Measure 2
 Exterior walls: 2x6 #2 studs @ 16" o.c. R21 insulation and Vaulted ceilings with cantilevered heel trusses R38 insulation minimum, and Flat ceilings with cantilevered heel R49 insulation, and Floor framing R38 insulation, and Windows U-0.30 and Doors U-0.20

Along with
 Conservation Measure C Ductless heat pump. Primary zone of house mini-split ductless heat pump. Conventional electric resistance heating may be provided for any secondary zones in the dwelling or as otherwise noted in energy code.

Electric panel and meter to be field located

COMMON ELECTRICAL SYMBOLS



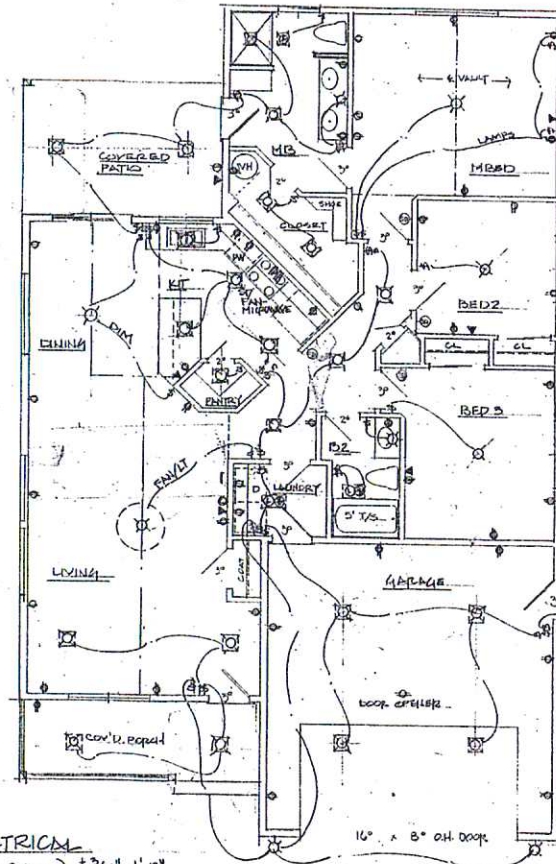
Verify locations of exterior lights, motion sensors or security systems with client.

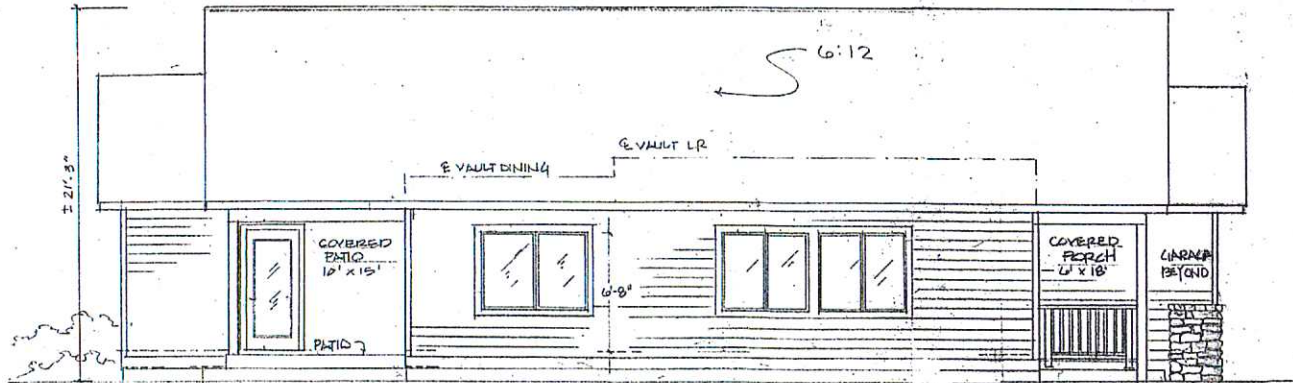
Client to choose all makes and models of light fixtures.

Provide for electronics as specified by client.

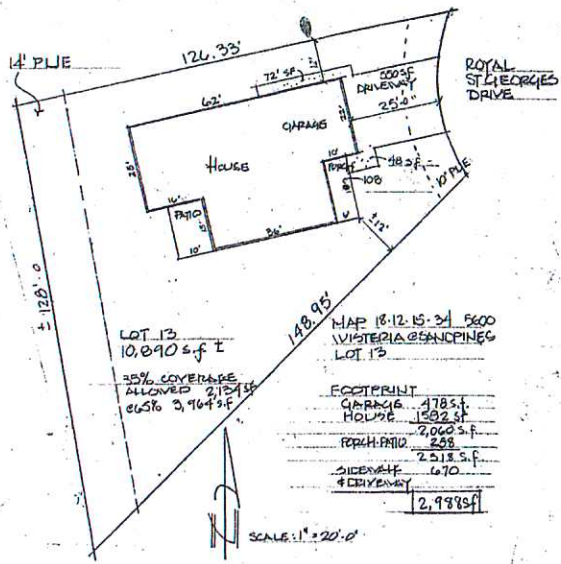
All exterior electrical receptacles and those installed in bathrooms, carports and garages and within 6'0" of a sink must be protected by ground/fault protection. GFI

Carbon monoxide alarms must be installed where this a carbon monoxide source per code with applicable rules of the State Fire Marshal and in conformance with any applicable requirements of the state building code.

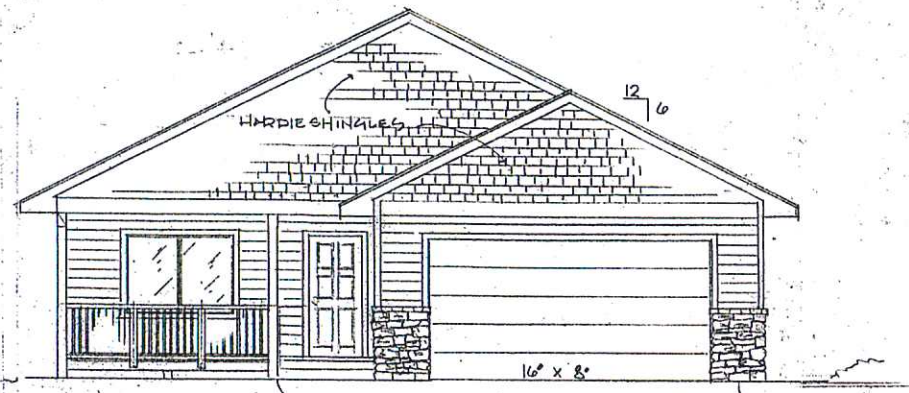




LEFT EL. 1/4"



MAP 18-12-15-34 5600
 VISTERIA @ SANDPINES
 LOT 13
 FOOTPRINT
 GARAGE 1532 s.f.
 HOUSE 178 s.f.
 PORCH/PATIO 2062 s.f.
 SIDEWALK 670
 DRIVEWAY 2,938 s.f.



FRONT EL. 1/4"

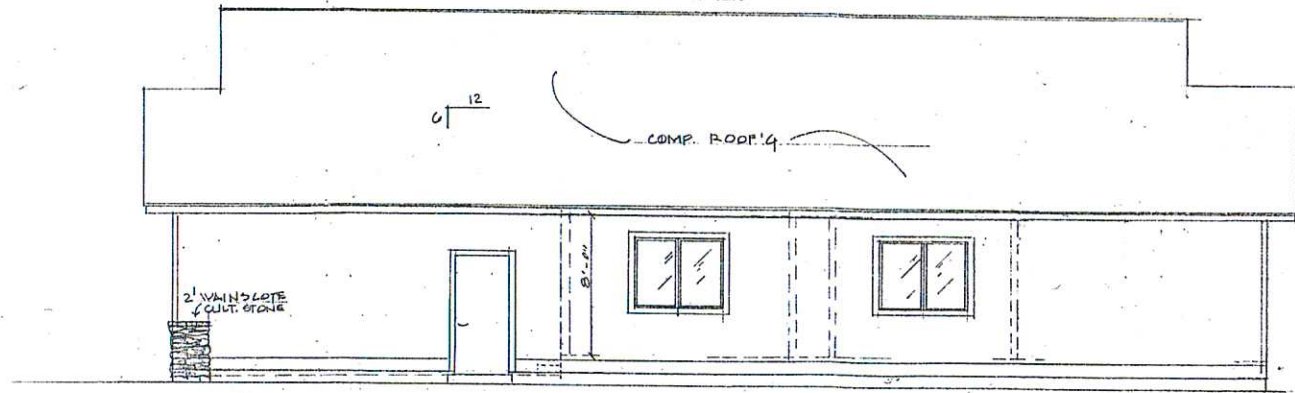
JO TAYLOR - DESIGNER
 25119 LUMB RD
 ELMIRA, OR 97437
 541 935-7344

PRELIM
 11-30-16
 12-16-16
 1-13-17

RESIDENCE FOR: ROBERT PALMER
 ROYAL ST. GEORGES DRIVE
 FLORENCE, OR
 18-12-15-34 TXL 5600

1 of 7

REV 7.10
 14. TIRE TO CURB



RIGHT EL 1/4"

GENERAL NOTES

These plans are drawn to meet the 2014 Oregon Residential Specialty Code. In the event of a conflict between applicable codes and regulations and reference standards of these plans and specifications, the more stringent provisions shall govern. Whether called for or shown on the plans, good building practices and compliance to all codes shall prevail.

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The contractor shall verify all dimensions on the job site prior to ordering material or commencing work. Plans may shrink during the copying process; written dimensions shall take precedence over scaled dimensions.

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Engineering will take precedence over designer drawings and shall be designed with accepted engineering practice.

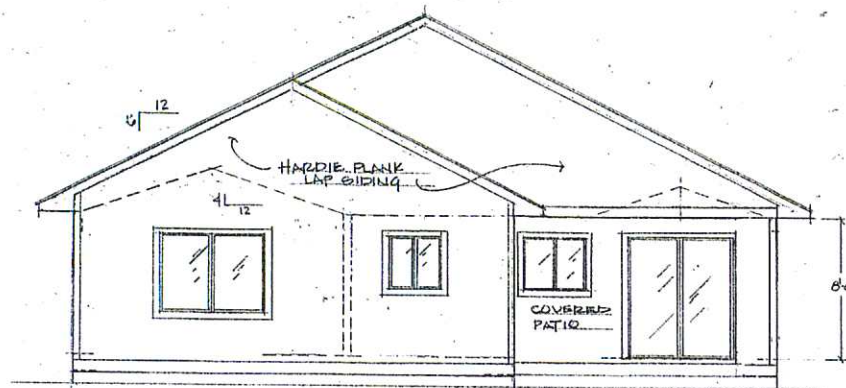
These plans do not include plumbing diagrams. System to be designed and installed by a qualified contractor as per code. Client to choose all makes and models for plumbing and type of shower(s), tile or fiberglass.

Chapter 11. Energy Efficiency Envelope Enhancement Measure 2
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Along with
 Conservation Measure C: Ductless heat pump. Primary zone of house mini-split ductless heat pump. Conventional electric resistance heating may be provided for any secondary zones in the dwelling or as otherwise noted in energy code.

Electric panel and meter to be field located as well as hose bibs.

Client to choose cabinet design and style for all cabinets/countertops.



REAR EL 1/4"

ROOF FRAMING

Roof Pitch:
6/12

Roof Framing:

Truss design, engineering and a stamped copy of plans shall be provided by a truss manufacturer. Field verify all truss sizes.

Manufactured cantilevered scissor and flat bottom chord trusses as noted on plans at 24" o.c. Trusses are not to bear on interior partition walls unless so designed. Trusses shall be connected to wall plates by the use of approved connectors, such as Simpson H2.5A or as otherwise noted, and installed in accordance with the manufacturer's specifications. Truss members shall not be drilled, cut, notched or altered in any manner unless so designed. Design trusses for coastal winds.

Builder is to verify all truss dimensions including exact slope, required heel height, overhang condition and special loading. Truss dimensions shown in these plans are intended to be approximate only.

Provide attic access hatch, 22" x 30" minimum opening, shall be provided to any attic area having a clear height over 30"

Vent with continuous ridge vent and screened vents at eave.

ROOF ASSEMBLIES

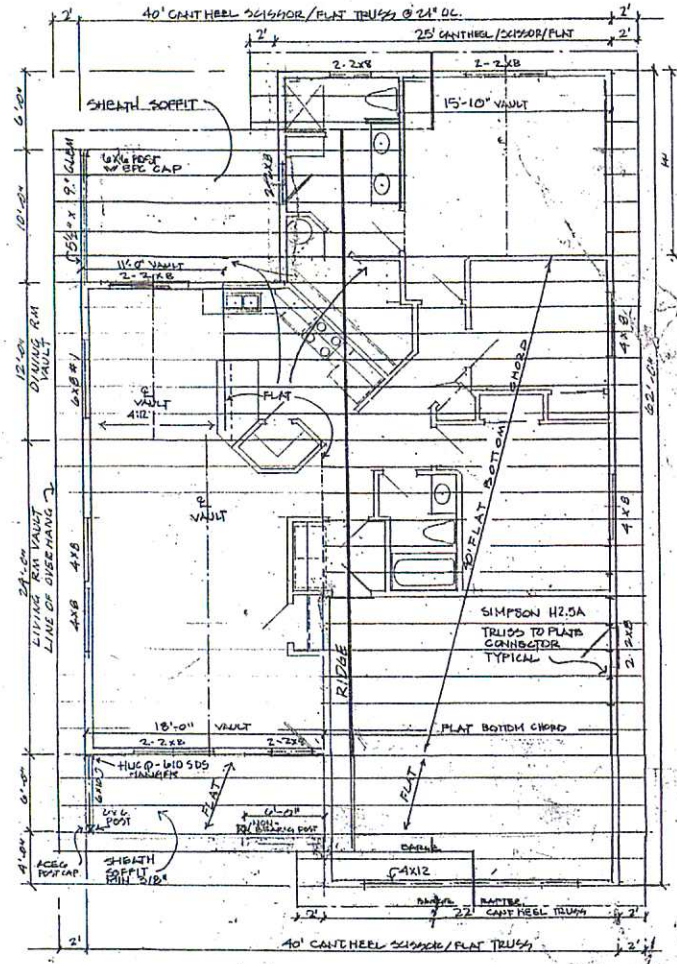
Roof Covering:

Composition roofing on gable with matching ridge caps. Approved weather resistant mineral surfaced rolling roofing or other, over 1/2" APA rated sheathing, Exposure 1 or equal. Nail Bd at 6" o.c. all edges and boundary, 12" o.c. in field unless otherwise noted. Orient long dimension of panels perpendicular to framing. Stagger joints 4'.

Flashing and counterflashing shall be made with corrosion resistant metal. (#26 galvanized sheet gage, copper or stainless steel)

Gutters and downspouts to be installed.

Insulate all flat ceilings with R-49 fiberglass batt or loose fill fiberglass, cellulose or rock wool insulation. Insulate all vaulted ceilings with R38 minimum.



ROOF FRAMING 3/16" = 1'-0"

5/24

ROOF FRAMING and ROOF COVERING
 6/12 roof pitch
 Cantilevered heel Mtg. trusses at 24" o.c.
 Composition roofing with approved weather
 resistant mineral surfaced rolling roofing
 over 1/4" APA rated sheathing, Exposure 1 or equal.
 R-49 insulation and min R38 of vaults

WALLS AND CEILINGS
 Plaster Height: 8'0"
 2 x 6 #2 studs @ 16" o.c., 2x4 studs interior framing.
 R 21 insulation

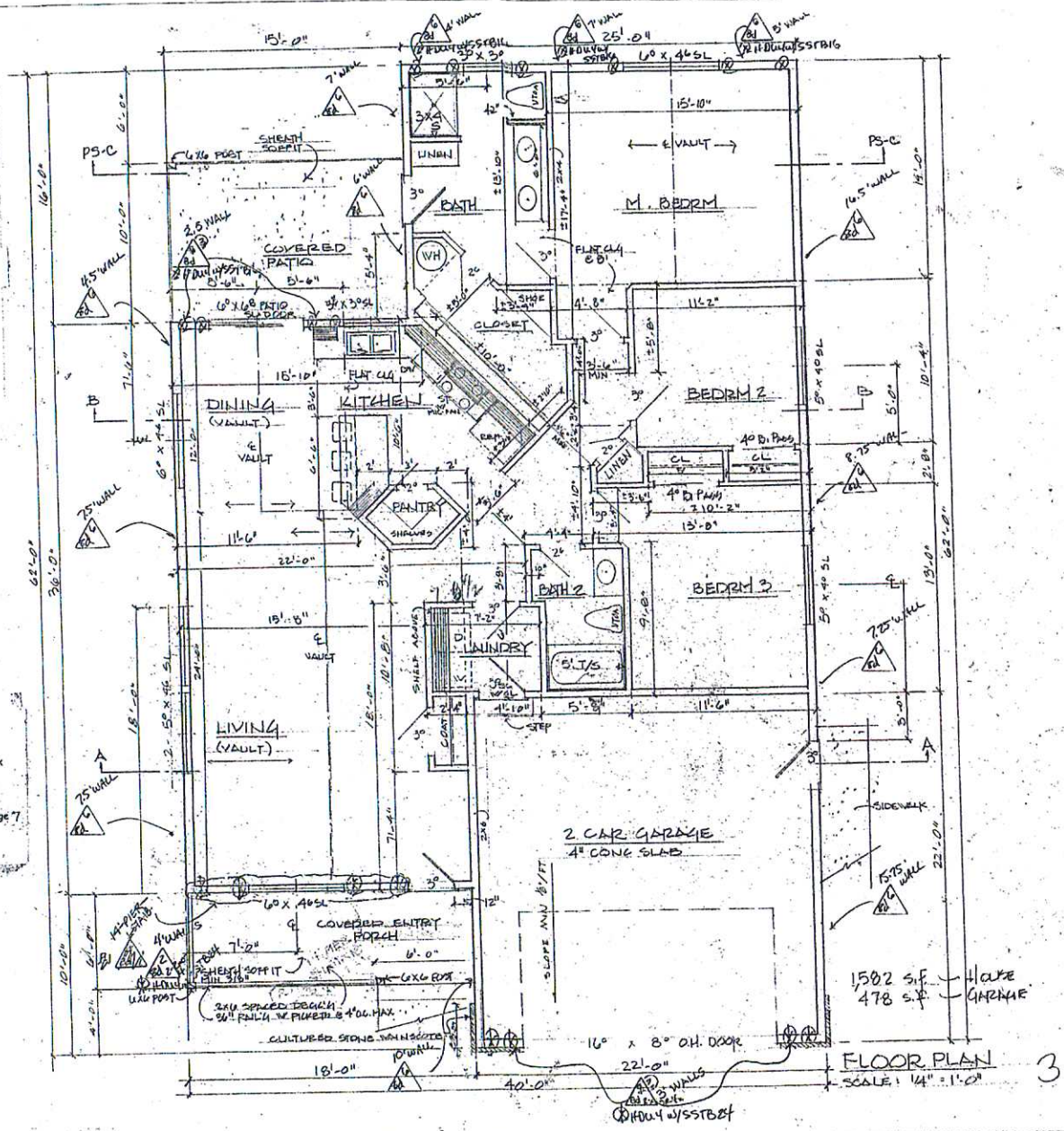
EXTERIOR WALL COVERINGS
 HardiePlank horizontal lap siding and HardieShingles at front gable
 Approved weather barrier over 1/4" APA sheathing. Wainscote with
 cultured stone as shown.

FLOOR FRAMING
 11 7/8" TJI/110 @ 16" o.c. UNO with 3/4" T and 6" APA rated
 sheathing over
 R38 Insulation
 6-mil-thick polyethylene moisture barrier ground cover

FOUNDATION
 Footing: 12" x 6" with 2# 4 rebar
 Foundation wall: 6" thick with #4
 1/2" diameter anchor bolts embed 10" w 6#1/2" washers at 4'0" o.c.
 4" Concrete slab at garage, 3,000 psi in 28 days.

SHEAR
 1/2" nominal APA sheathing
 at exterior walls
 w/8d common OR galvanized box
 nail @ 6" o.c.
 unblocked panel edge,
 12" o.c. field UNO
 SHEAR WALL SYMBOL KEY Page 7

See detail page 7



FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 3

WALL CONSTRUCTION

Wall Framing:

Plate Height: 80". Top plates shall be doubled on all walls except where otherwise noted. Overlap corners and intersections with bearing partitions. Bottom (sole) plate shall be a minimum 2 x with a width equal to the studs. Interior load-bearing walls shall be constructed, framed and fireblocked as specified for exterior walls.

All structural lumber shall be #2 or Standard or Better DF (Douglas fir) or equal unless otherwise noted. 2 x 6 #2 stud spacing shall be a minimum of 16" o.c. 2 x 4 interior non-bearing studs at 16" o.c. can be capped with a single top plate. Insulation at exterior walls shall be R 21 Kraft faced high density fiberglass batt insulation. Staple to inside (warm) surface of studs in all walls separating heated from unheated spaces.

Windows/Doors:

Standard header height as noted on plans/see sections. doors and windows to align. Cripples under all headers shall be continuous to sole plate. Window and door openings are to be flashed above all wood trim and caulked.

All windows are to be vinyl. Sizes as noted on floor plans. Refer to manufacturer's specifications for precise dimensions of rough openings and installation instructions. Each bedroom shall have an egress window with a sill height of no more than 44" above the floor. Verify with manufacturer that window meets egress requirements. Glass within 24" of a door and/or within 18" of the floor or a walkway shall have tempered glazing. Windows: U=0.30 or less.

Exterior door sizes as noted. Doors with glass shall be double glazed insulating units with tempered glass. Doors, Other than main entry: U=0.20 or less Main entry door (max 24 sq ft).

Door between garage and living area shall be 20-minute fire-rated steel door or a minimum of 1 3/4" solid core wood doors or code approved equivalent and self-closing mechanism. Overhead garage door to be insulated galvanized steel. Automatic garage door opener, if provided, shall be listed in accordance with UL325.

Miscellaneous Framing Notes:

Provide a smoke detector in each bedroom, and in the immediate vicinity outside of the bedrooms 4-12" from ceiling.

WALL COVERING

Interior Coverings:

Gypsum board to be a minimum of 1/2" at ceilings and walls. 1/2" green board (water resistant gypsum backing board) to be used on bathroom walls.

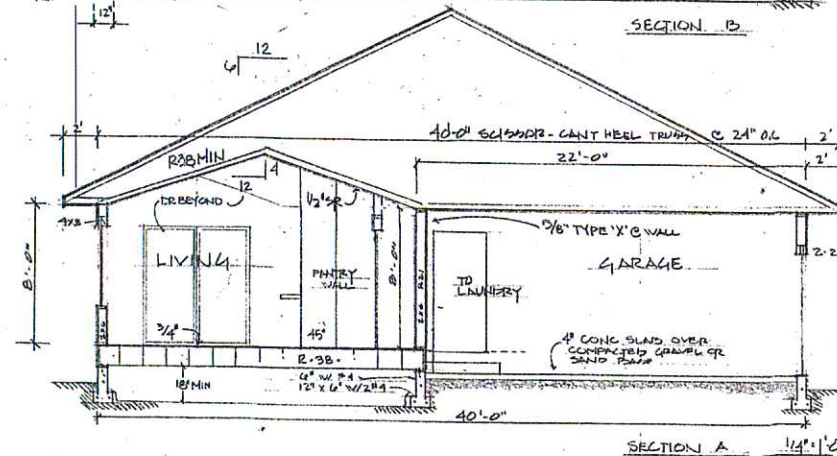
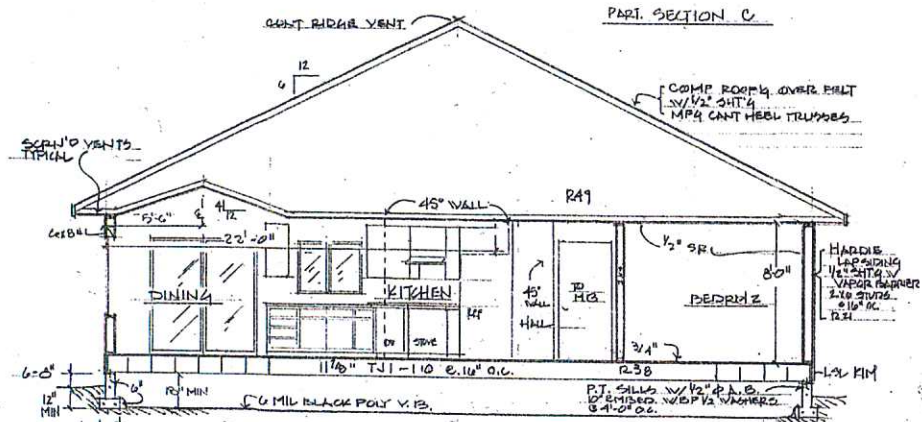
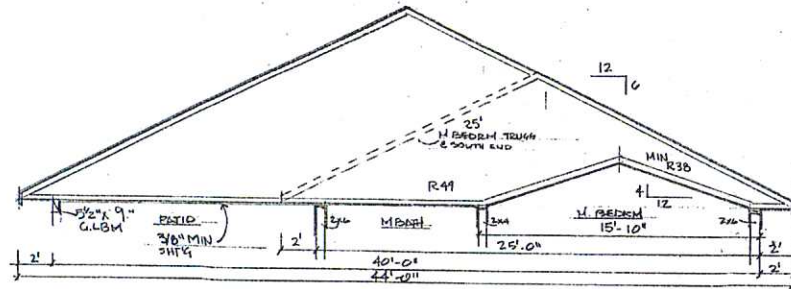
Provide a 1 hour fire wall with 5/8" type "x" sheetrock between garage and living areas.

Exterior Coverings:

1/2" APA rated sheathing, Exposure 1. Nail minimum 8d @ 6" o.c. at all panel edges, 12" in field unless noted otherwise. See Engineering for all shear wall notations.

Apply a water resistive barrier to sheathing at all exterior walls. It must be manufactured in a manner to enhance drainage and meets the 75% drainage efficiency requirement of ASTM E2273 or other recognized national standards. Apply as per mfg specifications.

James Hardie siding products at all exterior walls as shown on elevations. HardiePlank lap siding with belly band trim. HardieShingles at front gable.



1/2" 7/16/17

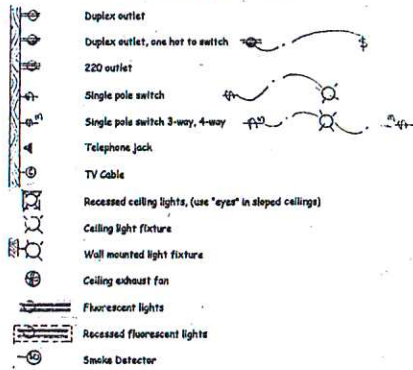
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Chapter 11. Energy Efficiency Envelope Enhancement Measure 2
 Exterior walls: 2x6 #2 studs @16" o.c. R21 insulation and vaulted ceilings with cantilevered heel trusses R38 insulation minimum, and Flat ceilings with cantilevered heel R49 insulation, and Floor framing R38 insulation, and Windows U-0.30 and doors U-0.20

Along with
 Conservation Measure C. Ductless heat pump. Primary zone of house mini-split ductless heat pump. Conventional electric resistance heating may be provided for any secondary zones in the dwelling or as otherwise noted in energy code.

Electric panel and meter to be field located

COMMON ELECTRICAL SYMBOLS



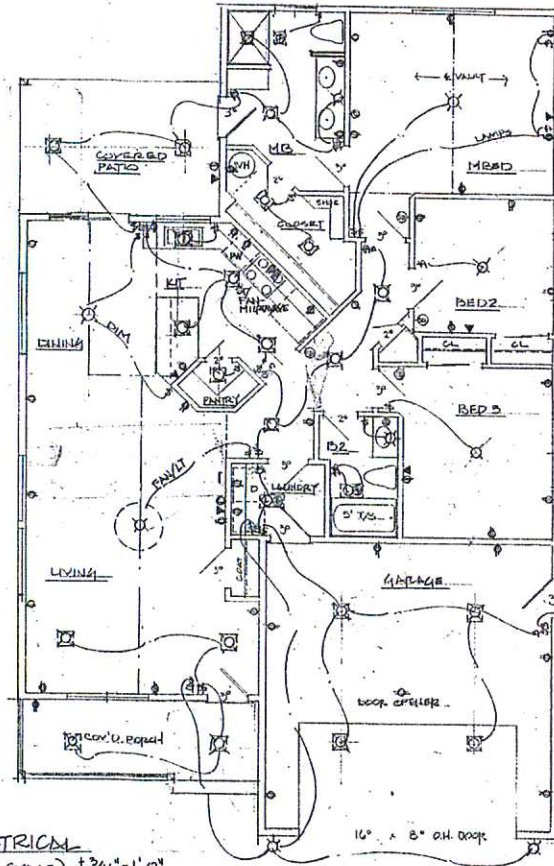
Verify locations of exterior lights, motion sensors or security systems with client.

Client to choose all makes and models of light fixtures.

Provide for electronics as specified by client.

All exterior electrical receptacles and those installed in bathrooms, carpenter and garages and within 6" of a sink must be protected by ground/fault protection, GFI

Carbon monoxide alarms must be installed where this a carbon monoxide source per code with applicable rules of the State Fire Marshal and in conformance with any applicable requirements of the state building code.



**SITE PLAN
LOT 14
PLAT OF FAIRWAY HOMES**

**29S, R15W, 01BA
TL 200
8034 SQ FT**

SEACREST DRIVE

